

PB# 92-39

New Windsor Business Park

4-2-16.4

Approved 8-30-93

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, NY 12550

GENERAL RECEIPT

12933

Received of Oct 9 1992
Rubin Management, Inc. \$ 150.00

One Hundred fifty 00 DOLLARS
For P.B. 92-39 Application Fee 100

DISTRIBUTION:

FUND	CODE	AMOUNT
<u>CK 10061</u>		<u>150.00</u>

By Pauline M. Townsend
Town Clerk

Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, NY 12550

GENERAL RECEIPT

12934

Received of Oct 9 1992
Town Clerk \$ 750.00

Seven Hundred fifty 00 DOLLARS
For Rubin Management, Inc. 100
Planning Board 92-39 Escrow

DISTRIBUTION:

FUND	CODE	AMOUNT
<u>CK # 10062</u>		<u>750.00</u>

By Susan Zappala
Deputy Comptroller

Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, NY 12550

GENERAL RECEIPT

13547

Received of August 27 1993
Rubin Management Inc. \$ 150.00

One Hundred Fifty and 00/100 DOLLARS
For Planning Board Approval Fee #92-39

DISTRIBUTION:

FUND	CODE	AMOUNT
<u>CK # 10934</u>		<u>\$150.00</u>

By Pauline M. Townsend
Town Clerk

Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

TOWN OF NEW WINDSOR
555 Union Avenue

GENERAL RECEIPT

13546

DISTRIBUTION:

FUND	CODE	AMOUNT
CR 10061		150.00

By Pauline M. Townsend
Town Clerk
 Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

TOWN OF NEW WINDSOR
 555 Union Avenue
 New Windsor, NY 12550

GENERAL RECEIPT 12934

Received of Town Clerk Oct 9 1992
 \$ 750.00

Seven Hundred Fifty 00/100 DOLLARS

For Rubin Management Inc
Planning Board 92-39 Escrow

DISTRIBUTION:

FUND	CODE	AMOUNT
CR # 10062		750.00

By Juan Zapols
Deputy Comptroller
 Title

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TOWN OF NEW WINDSOR
 555 Union Avenue
 New Windsor, NY 12550

GENERAL RECEIPT 13547

Received of Rubin Management Inc. August 27 1993
 \$ 150.00

One Hundred Fifty and 00/100 DOLLARS

For Planning Board Approval Fee #92-39

DISTRIBUTION:

FUND	CODE	AMOUNT
CR # 10934		150.00

By Pauline M. Townsend
Town Clerk
 Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

TOWN OF NEW WINDSOR
 555 Union Avenue
 New Windsor, NY 12550

GENERAL RECEIPT 13546

Received of Rubin Management Inc. August 27 1993
 \$ 1793.80

One Thousand Seven Hundred Ninety Three 80/100 DOLLARS

For Planning Board Inspection Fee #92-39

DISTRIBUTION:

FUND	CODE	AMOUNT
CR # 10935		1793.80

By Pauline M. Townsend
Town Clerk
 Title

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NEW WINDSOR BUSINESS PARK S.P.#92-39
TEMPLE HILL RD. (DEWKETT)

5.17.15

 **universal**
No. F5-15110

07/14/93 13:53 FAX 718 244 1141

RUBIN MANGT. INC

003

PERM 33h (10/90)

STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
HIGHWAY WORK PERMIT APPLICATION FOR NON-UTILITY WORK

PREPARE 3 COPIES

Application is hereby made for a highway work permit
Name New Windsor Business Park Assoc.
Address 296 Temple Hill Road
City New Windsor State NY Zip 12553
RETURN PERMIT TO: (If different from above)
Name Rubin Management Inc.
Address 147-39 175 Street
City Jamacia State NY Zip 11434

Application No. 93-348
Project Identification No. _____
Highway Work Permit No. _____
Effective Date _____
Applicant Telephone # 718-995-4577
Contact person in case of emergency Jon Miller
(Include telephone number) _____
RETURN OF DEPOSIT/BOND TO: (COMPLETE ONLY IF DIFFERENT FROM PERMITTED)

Name _____
Address _____
City _____ State _____ Zip _____

1. Requested duration from Nov. 30, 1992 thru Nov. 30, 1993, to apply to the operations(s) checked below:
2. Protective Liability Insurance covered by Policy No. _____; expires on _____ 19 ____
3. Workers' Compensation Insurance Policy No. N/A expiring 6/18/93
4. Disability Benefits Coverage Policy No. N/A

CHECK TYPE OF OPERATION	Permit Fee	Show Ins. Fee in Amt. or PERM 17 or Undertaking on file	Total Amount of Fee and/or Insurance	Guarantee Deposit Amount and/or Bond	Check or Bond Number
<input checked="" type="checkbox"/> 5. Single job - Permit issued for each job					
<input checked="" type="checkbox"/> a. Driveway or roadway					
<input type="checkbox"/> Residential	\$ 15				
<input checked="" type="checkbox"/> Commercial - Minor	550				
<input type="checkbox"/> Commercial - Major - (Less than 100,000 square feet Gross Building Area)	1400				
<input type="checkbox"/> Commercial - Major - (100,000 square feet Gross Building Area and Greater)		Actual cost with a minimum of \$2000 paid upon submission of permit app.			
<input type="checkbox"/> Subdivision Street	900				
<input type="checkbox"/> Temporary access road or street	200				
<input type="checkbox"/> b. Improvement					
<input type="checkbox"/> Residential	15				
<input type="checkbox"/> Commercial	200				
Check additional description below:					
<input type="checkbox"/> Install sidewalk, curb, paving, stabilized shoulder, drainage, etc.					
<input type="checkbox"/> Grade, seed, improve land contour, clear land of brush, etc.					
<input type="checkbox"/> Resurface existing roadway or driveway					

<input type="checkbox"/> c. Tree Work <input type="checkbox"/> Residential <input type="checkbox"/> Commercial (not required for pruning if utility has annual maintenance permit) Check additional description below: <input type="checkbox"/> Removal or planting <input type="checkbox"/> Pruning, applying chemicals to stumps, etc.		15				
		25				
<input type="checkbox"/> d. Miscellaneous Construction <input type="checkbox"/> Beautifying ROW - (for Civic Groups only) <input type="checkbox"/> Temporary signs, banners, Christmas decorations <input type="checkbox"/> Traffic control signals <input type="checkbox"/> Warning and entrance signs <input type="checkbox"/> Miscellaneous - Requiring substantial review <input type="checkbox"/> Miscellaneous		NC				
		25				
		500				
		25				
		400				
		25				
<input type="checkbox"/> e. Compulsory permit required when work performed at the request of D.O.T. <input type="checkbox"/> a. Building demolition or moving requested by D.O.T. <input type="checkbox"/> Demolition <input type="checkbox"/> Moving <input type="checkbox"/> b. Improvement to meet Department standards		NC				
		NC				
<input type="checkbox"/> 7. Miscellaneous		25				

WORK MAY BE DESCRIBED BRIEFLY AS FOLLOWS: Construction of a new 7,980 sq. ft. Office Building and associated parking. Including utilities (water & sewer).

Additional work description is attached; Plans 2 page and/or Map is attached showing work to be performed at:
 LOCATION (on X along X across) State Route 300 54 9457
 between Reference Marker 1108 and Reference Marker 1109 in the Town of New Windsor
 County of Orange known as New Windsor Business Park Parcel 16.4

SEQR REQUIREMENTS: (Check appropriate box)
☐ Exempt ☐ Ministerial ☐ Type II ☒ EIS or DEIS Lead Agency Town of New Windsor Planning Board

If project is identified to be ministerial, exempt, or TYPE II, no further action is required.
 If project is determined to be other than ministerial, exempt, or TYPE II, refer to M.A.P. 7.12-2, Appendix A SEQR REQUIREMENTS FOR HIGHWAY WORK PERMITS.
 Acceptance of the requested permit subjects the permittee to the restrictions, regulations and obligations stated on this application and on the permit.

Applicant Signature X [Signature] Date X DEC 7 19 92.

For Joint application and work, note name and address of Second Applicant below:

Second Applicant Signature Date 19 .

Approval recommended 4/4 19 93 By Resident Engineer [Signature] Residency No. 8-4.

Approved [Signature] 7/23 19 93 By Regional Traffic Engineer MJ. MIGNOGNA Region No. 8.

PERMIT IS ISSUED CONTINGENT UPON LOCAL REQUIREMENTS BEING SATISFIED.

(3)

07/14/93 13:55 FAX 718 244 1141

RUBIN MANGT. INC

004

PERM 42n (12/92)

STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION

HIGHWAY WORK PERMIT

Permit Fee: \$ 550.00
Insurance Fee: \$ 0.00
Total Received: \$ 550.00
Check or M.O. No.: CHARGED TO ACCOUNT
Liability Insurance: Policy No.: ON FILE

Expiring / /

Permit No.: 8 - 93 - 0348
Project Identification No.:
* Completion Date: 11/30/93
SH No.: 9457
Deposit Rec. for \$ 2000.00
Check or M.O. No.: 10565
Dated: 04/08/93
Estimated Cost of Work Performed in the State Right-of-Way \$: 0.00
Chargeable to Bond No.: ** UOF **
or Undertaking on File:

Permittee:

NEW WINDSOR BUSINESS PARK ASSOC.
296 TEMPLE HILL ROAD
NEW WINDSOR, NY 12553
att:

Billing Address: (Complete if different from above)

Return of Deposit Made Payable to: (Complete if different from Permittee)

Under the provisions of the Highway Law or Vehicle & Traffic Law permission is hereby granted to the permittee to:

CONSTRUCTION OF A NEW 7,900 SQ. FT. OFFICE BUILDING AND ASSOCIATED PARKING. INCLUDING UTILITIES (WATER & SEWER). ALL DISTURBED AREAS WITHIN STATE ROW ARE TO BE TOPSOILED, SEEDED, AND MULCHED.

THE PERMITTEE IS RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC. IN ADDITION, ANYBODY WORKING IN THE RIGHT OF WAY IS REQUIRED TO WEAR A HARD HAT AND A REFLECTIVE SAFETY VEST. ANYONE WORKING WITHIN THE R.O.W. WILL WEAR HIGH VISIBILITY APPAREL (ORANGE/YELLOW) AND HARD HAT.

County - ORANGE

Municipality - NEW WINDSOR

Route # - 300

as set forth and represented in the attached application at the particular location or area, or over the routes as stated therein, if required; and pursuant to the conditions and regulations whether, general or special, and methods of performing work, if any; all of which are set forth in the application and form of this permit.

Dated at: POUGHKEEPSIE, N.Y.
Date Signed: 07/12/93

Commissioner of Transportation

By:

MJ Mignogna
MICHAEL J. MIGNOGNA

IMPORTANT

This permit, with application and drawing (or copies thereof) attached shall be placed in the hands of the contractor before any work begins.

NOTICE: Before work is started and upon its completion, the permittee absolutely must notify the Resident Engineer.

WILLIAM BAIN
(914)562-4020

112 DICKSON STREET
NEWBURGH, NEW YORK 12550

UPON COMPLETION OF WORK AUTHORIZED, THE FOLLOWING WILL BE COMPLETED AND SIGNED BY THE PERMITTEE AND DELIVERED TO THE RESIDENT ENGINEER.

Work authorized by this Permit was completed on _____
DATE

Refund of desposit or return of bond or reduction of amount charged against bond or deposit on file for this permit whichever is appropriate, is requested.

DATE

PERMITTEE

AUTHORIZED AGENT (If Any)

Upon acceptance of work performed as satisfactorily completed, the Resident Engineer will sign the following and forward to the Regional Office.

Work authorized by this Permit has been satisfactorily completed and is accepted (Reverse side of this form must be completed).

DATE

RESIDENT ENGINEER

The Regional Office will forward this form to the Main Office with the appropriate box checked.

To: HIGHWAY PERMIT SECTION:

- ☐ Refund of Deposit on this Permit is authorized.
- ☐ Return of Bond furnished for this Permit is authorized.
- ☐ Amount charged against Blanket Bond for this permit may be cancelled.
- ☐ Retain Bond for future permits.

DATE

REGIONAL TRAFFIC ENGINEER

The issuing authority reserves the right to suspend or revoke this permit, at its discretion without a hearing or the necessity of showing cause either before or during the operations authorized.

The Permittee will cause an approved copy of the application to be and remain attached hereto until all work under the permit is satisfactorily completed, in accordance with the terms of the attached application. All damaged or distributed areas resulting from work performed pursuant to this permit will be repaired to the satisfaction of the Department of Transportation.

* Upon completion of the work within the state highway right-of-way, authorized by the work permit, the person, firm, corporation, municipality, or state department or agency, and his or its successors in interest, shall be responsible for the maintenance and repair of such work or portion of such work as set forth within the terms and conditions of the work permit.

PERM33h (10/90)
REVERSE**RESPONSIBILITIES OF PERMITTEE****1. PROTECTIVE LIABILITY INSURANCE COVERAGE**

Permittee must have protective liability insurance coverage in accordance with Department requirements. See Certificate of Insurance for Highway Permits Insurance Requirements (Form PERM 17, NYSDOT)

Expiration of, or lack of, liability insurance automatically terminates the permit. Insurance coverage may be provided by furnishing the Department with one of the following:

- A Certificate of Insurance for Highway Permits Insurance (Form PERM 17, NYSDOT).
- A certified check or a check drawn on a New York State Bank for coverage under the Departmental Blanket Policy.
- Undertakings are limited to Public Service Corporations and government units. They must be executed through an insurance/bonding company and are subject to approval by NYSDOT Office of Legal Affairs.

2. COMPENSATION INSURANCE AND DISABILITY COVERAGE

The applicant is required to have compensation insurance and disability coverage as noted in the provisions of the Worker's Compensation Law and Acts amendatory thereof for the entire period of the permit, or the permit is invalid.

3. NOTIFICATIONS

Notify Commissioner, through Regional Office, one week prior to commencing work, except emergency work by public service utilities which should be reported the next work day.

Work must start within 30 days from date of permit.

Notify area gas distributors 72 hours prior to any blasting.

Notify utility companies with facilities in work areas (permission must be obtained before doing work affecting utilities' facilities) before starting work in accordance with Industrial Code 53.

Notify Department of Transportation at conclusion of work and return original copy of permit to Resident Engineer.

Annual Maintenance Permit Notifications:

Notify by telephone the Regional or Resident Engineer's office, one week in advance, each time regular maintenance work is to be performed. In emergencies, notification by telephone should be made the next work day.

4. SITE CARE AND RESTORATION

An Undertaking, a bond or certified check in an amount designated by the Department of Transportation may be required by the Regional Office, before a permit is issued, to guarantee restoration of the site to its original condition. If the Department is obliged to restore the site to its original condition, the costs to the Department will be deducted from the amount of the permittee's guarantee deposit at the conclusion of the work.

The permittee is responsible for traffic protection and maintenance including adequate use of signs and barriers during work and evening hours. Anyone working within the R.O.W. will wear an orange vest and hard hat.

No unnecessary obstruction is to be left on the pavement or the right-of-way or in such a position as to block warning signs or between work hours.

No work shall be done to obstruct drainage or divert creeks, water courses or sluices onto the right-of-way.

All falsework must be removed and all excavations must be filled in and restored to the satisfaction of the Regional Maintenance Engineer.

5. COSTS INCURRED BY ISSUANCE OF THIS PERMIT

All costs beyond the limits of the protective liability insurance, surety deposits, etc., are the responsibility of the permittee.

The State shall be held free of any costs incurred by the issuance of this permit, direct or indirect.

6. SUBMITTING WORK PLANS

The applicant will submit work plans and/or a map as required by the Department. This shall include such details as measurements of driveways with relation to nearest property corner, positions of guys supporting poles and a schedule of the number of poles and feet of excavation necessary for completion of the work on the State right-of-way. A description of the proposed method of construction will be included.

Plan work with future adjustments in mind, as any relocation, replacement or removal of the installation authorized by this permit and made necessary by future highway maintenance, reconstruction or new construction, will be the

responsibility of the permittee. Driveway plans should be prepared in accordance with the POLICY AND STANDARDS FOR ENTRANCES TO STATE HIGHWAYS.

The permittee must coordinate his work with any state construction being conducted.

7. TRAFFIC MAINTENANCE

A plan detailing how the permittee intends to maintain and protect traffic shall be submitted with work plans. Traffic shall be maintained on the highway in a safe manner during working and non-working hours until construction is completed. The permittee is responsible for traffic protection and maintenance, including adequate use of signs, barriers, and flag persons during working and non-working hours until construction is completed.

All sketches will be stamped with "MAINTENANCE OF TRAFFIC SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES."

8. COST OF INSPECTION AND SUPERVISION

Prior to issuance of the Highway Work Permit, the permittee will be required to sign an INSPECTION PAYMENT AGREEMENT FOR HIGHWAY WORK PERMITS (FORM PERM 50) agreeing to the payment of inspection charges and/or PAYMENT AGREEMENT FOR HIGHWAY WORK PERMITS DESIGN REVIEW (FORM PERM 51) for Department employees. Inspection charges will be based on number of work days. Design Review charges will be based on number of work hours.

9. SCOPE

a. Areas Covered

Permits issued are for highways, bridges and culverts over which the New York State Department of Transportation has jurisdiction. (Local governments issue permits for their own jurisdiction.)

b. Legal

The privilege granted by the permit does not authorize any infringement of federal, state or local laws or regulations, is limited to the extent of the authority of this Department in the premises and is transferable and assignable only with the written consent of the Commissioner of Transportation.

c. Commissioner's Reservation

The Commissioner of Transportation reserves the right to modify fees and to revoke or annul the permit at any time, at his discretion without a hearing or the necessity of showing cause.

d. Locations

Work locations must be approved by the Department.

e. Maintenance

Property owners having access to a state highway shall be fully responsible for the maintenance of their driveway in accordance with POLICY AND STANDARDS FOR ENTRANCES TO STATE HIGHWAYS.

10. COMPLETION OF PROJECT

Upon completion of the work within the state highway right-of-way authorized by the work permit, the person and his or its successors in interest, shall be responsible for the maintenance and repair of such work or portion of such work as set forth within the Terms and Conditions of the Highway Work Permit.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

- ☒ Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- ☐ Branch Office
400 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

7 October 1993

MEMORANDUM

TO: Michael Babcock, Town Building Inspector

FROM: Mark J. Edsall, P.E., Planning Board Engineer

SUBJECT: NEW WINDSOR BUSINESS PARK SITE PLAN - LOT 16.4
NEW WINDSOR PLANNING BOARD NO. 92-39

This memorandum shall confirm our field visit on the afternoon of 5 October 1993 to review the status of completion for the key site improvements for the subject site, as per the site plan stamped approved by the Planning Board on 30 August 1993. Generally, the site appears to substantially comply to the approved site plan, with the exception of the following non-completed items:

1. Handicapped parking signs must be installed for the handicapped parking spaces.
2. The handicapped ramp to the building, at the main front entrance, has been constructed in an unacceptable manner, not in conformance with current State and ANSI Standards. The ramp must be removed and properly constructed.
3. The project sign has not been installed.
4. The "No Parking - Fire Lane" signs, required at the front of the building, have not been installed.
5. The waste and debris at the rear of the building should be removed and properly disposed of. In addition, this area should be finish graded and seeded, at minimum, such that erosion and siltation problems do not result.

7 October 1993

MEMORANDUM

-2-

6. The dumpster enclosure is not complete and it is questioned which direction the dumpster will be accessed from, since no access gate was observed.
7. The Town should receive some acknowledgement from the New York State Department of Transportation that the improvements within that right-of-way have been completed in an acceptable fashion.

It is my opinion that the handicapped signs, handicapped ramp reconstruction and NYSDOT "right-off" (if possible) should be received prior to the issuance of a Certificate of Occupancy. With regard to the remaining items, it is my recommendation that a Bond amount be set at \$1,500.00 for the completion of the remaining items.

Please contact me if you have any questions regarding the above.

Respectfully submitted,


Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

cc: Town Planning Board

A:10-7-E.mk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 01/01/80

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 92-39

NAME: NEW WINDSOR BUSINESS PARK - PARCEL 16.4
APPLICANT: NEW WINDSOR BUSINESS PARK ASSOCIATES

--DATE--	DESCRIPTION-----	TRANS	AMT-CHG	AMT-PAID	BAL-DUE
10/09/92	S.P. MINIMUM	PAID		750.00	
10/14/92	P.B. ATTY	CHG	35.00		
10/14/92	P.B. MINUTES	CHG	18.00		
11/11/92	P.B. ATTY	CHG	35.00		
11/11/92	P.B. MINUTES	CHG	18.00		
04/28/93	P.B. ATTY. FEE	CHG	35.00		
04/28/93	P.B. MINUTES	CHG	45.00		
05/17/93	P.B. ENGINEER FEE	CHG	437.00		
08/24/93	ADDITIONAL ENG. FEE	CHG	40.50		
	TOTAL:		663.50	750.00	-86.50

Please issue a check in
the amount of \$86.50 to:

Rubin Management, Inc.
147-39 - 175th Street
Springfield Gardens, N.Y. 11434

April 24, 2002

40

JOHN MILLER - (92-39)

MR. EDSALL: Planning board application 92-39, if you can remember back ten years, New Windsor Business Park, John Miller, the New York Life building, the plan as it was submitted showed both Phase 1 and Phase 2, Phase 2 was shown as dashed addition and dashed parking, apparently they are prepared to build Phase 2 and it was shown on the plan they are inquiring as to whether or not they need to come back to the planning board, make an application and I have looked at it and normally, if we don't want to review Phase 1 and Phase 2, we tell them to take off Phase 2, but they didn't, parking is shown, building is shown.

MR. PETRO: Does it conform the parking and everything?

MR. EDSALL: So the bottom line is we believe that the intent was to approve it all and they were just going to build it in phases.

MR. BABCOCK: The parking requirements have gotten less restrictive.

MR. EDSALL: If there is no objection from the board.

MR. PETRO: Make it simple, it's a beautiful site, I'm sure whatever they do they're going to do it as nice as the original.

MR. LANDER: Back then, they were going to phase that.

MR. EDSALL: So we have received an inquiry from Cathy Dewkett, she's in Rhinebeck, still Dewkett Engineering, if the board has no objection, we'll just advise them that I have reviewed it with the building inspector and the planning board concurred that they can proceed with Phase 2.

MR. PETRO: Okay.

MR. EDSALL: Without need of any further application.

MR. PETRO: Yes. Motion to adjourn?

April 24, 2002

41

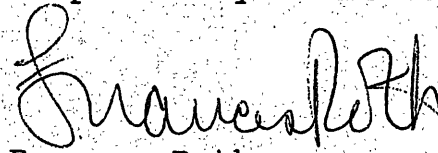
MR. BRESNAN: So moved.

MR. ARGENIO: Second it.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. KARNAVEZOS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

Respectfully Submitted By:

A handwritten signature in cursive script, appearing to read "Frances Roth".

Frances Roth
Stenographer

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 01/01/80

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 92-39

NAME: NEW WINDSOR BUSINESS PARK - PARCEL 16.4
APPLICANT: NEW WINDSOR BUSINESS PARK ASSOCIATES

--DATE--	DESCRIPTION-----	TRANS	AMT-CHG	AMT-PAID	BAL-DUE
10/09/92	S.P. MINIMUM	PAID		750.00	
10/14/92	P.B. ATTY	CHG	35.00		
10/14/92	P.B. MINUTES	CHG	18.00		
11/11/92	P.B. ATTY	CHG	35.00		
11/11/92	P.B. MINUTES	CHG	18.00		
04/28/93	P.B. ATTY. FEE	CHG	35.00		
04/28/93	P.B. MINUTES	CHG	45.00		
05/17/93	P.B. ENGINEER FEE	CHG	437.00		
08/24/93	ADDITIONAL ENG. FEE	CHG	40.50		
08/27/93	RETURN TO APPLICANT	CHG	86.50		
		TOTAL:	750.00	750.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/03/93

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 92-39

NAME: NEW WINDSOR BUSINESS PARK - PARCEL 16.4
APPLICANT: NEW WINDSOR BUSINESS PARK ASSOCIATES

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
08/30/93	PLANS STAMPED	APPROVED
08/26/93	COST ESTIMATE APPROVED BY M.E.	FEES PAID
04/28/93	P.B. APPEARANCE - FOR PHASING	PHASE I ONLY:
		. PHASE I CONDITIONALLY APPROVED - NEED NEW PLANS
		. NO NEED FOR NEW SEQRA PROCESS DUE TO THIS PHASING CHANGE
		. NEED D.O.T. WORK PERMIT - MORE SIGNS FOR FIRE LANES
		. COR. BLK TABLE: PUT NOTE ON FOR HT. REQIRMENT FOR PHASE II
11/11/92	P.B. APPEARANCE	APPROVED COND.
11/03/92	WORK SESSION APPEARANCE	NEW PLANS-NEXT AGEND
10/14/92	P.B. APPEARANCE	LA/WAV. PH - RETURN
10/14/92	P.B. APPEARANCE (CON'T)	CONCEPTUALLY APPROVE
10/06/92	WORK SESSION APPEARANCE	SUBMIT

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/27/93

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 92-39

NAME: NEW WINDSOR BUSINESS PARK - PARCEL 16.4

APPLICANT: NEW WINDSOR BUSINESS PARK ASSOCIATES

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
ORIG	10/09/92	MUNICIPAL HIGHWAY . MR. FAYO IS CONCERNED WITH WATER DRAINAGE	10/15/92	CONCERNED:DRAINAGE
ORIG	10/09/92	MUNICIPAL WATER	10/13/92	APPROVED
ORIG	10/09/92	MUNICIPAL SEWER	10/26/92	APPROVED
ORIG	10/09/92	MUNICIPAL SANITARY	11/06/92	SUPERSEDED BY REV1
ORIG	10/09/92	MUNICIPAL FIRE	10/14/92	APPROVED
ORIG	10/09/92	PLANNING BOARD ENGINEER	11/06/92	SUPERSEDED BY REV1
ORIG	10/09/92	ORANGE CO. PLANNING DEPT.	11/04/92	LOCAL DETER
ORIG	10/09/92	N Y STATE DEPT TRANSPORTATION	10/27/92	NO OBJECTION
REV1	11/06/92	MUNICIPAL HIGHWAY	12/08/92	APPROVED
REV1	11/06/92	MUNICIPAL WATER	11/10/92	APPROVED
REV1	11/06/92	MUNICIPAL SEWER	04/16/93	SUPERSEDED BY REV2
REV1	11/06/92	MUNICIPAL SANITARY	04/16/93	SUPERSEDED BY REV2
REV1	11/06/92	MUNICIPAL FIRE	11/09/92	APPROVED
REV1	11/06/92	PLANNING BOARD ENGINEER	04/16/93	SUPERSEDED BY REV2
REV2	04/16/93	MUNICIPAL HIGHWAY	/ /	
REV2	04/16/93	MUNICIPAL WATER	/ /	
REV2	04/16/93	MUNICIPAL SEWER	/ /	
REV2	04/16/93	MUNICIPAL SANITARY	/ /	
REV2	04/16/93	MUNICIPAL FIRE . SEE REVIEW SHEET FOR CONDITIONS OF APPROVAL	04/19/93	APPR. COND
REV2	04/16/93	PLANNING BOARD ENGINEER	/ /	

APPLICATION FEE (DUE AT TIME OF SUBMITTAL)

\$ 150.00

PLAN REVIEW FEE: (APPROVAL)

PLAN REVIEW FEE (MULTI-FAMILY):
PLUS \$25.00/UNIT

A. \$150.00
B.

TOTAL OF A & B: \$ 150.00

SITE IMPROVEMENT COST ESTIMATE:

44,845.00
\$ 48,310.00

A. 4% OF FIRST \$50,000.00
B. 2% OF REMAINDER

A. 1,793.80
B. 1,932.40

TOTAL OF A & B: \$ 1,793.80
1,932.40

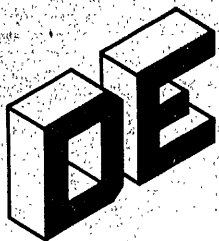
ESTIMATE FOR NEW WINDSOR BUSINESS PARK
REVISION 2 - PHASED DEVELOPMENT
JULY 21, 1993
JOB: 92014.00

DESCRIPTION	UNIT	PRICE	QUANTITY	AMOUNT
PHASE I DEVELOPMENT				
=====				
DRAINAGE INCLD. UTILITIES	LF	\$15.00	801	\$12,015.00
ASPHALT PAVEMENT	SY	\$7.50	2500	\$18,750.00
CONCRETE SIDEWALKS	SY	\$20.00	35	\$700.00
CONCRETE CURBING	LF	\$8.00	710	\$5,680.00
TRASH ENCLOSURE	LS	\$750.00	100%	\$750.00
SIGNAGE	LS	\$300.00	100%	\$300.00
FLAGPOLE	LS	\$150.00	100%	\$150.00
LANDSCAPING WITH SEEDING	LS	\$5,000.00	100%	\$5,000.00
LIGHTING	LS	\$1,500.00	100%	\$1,500.00

TOTAL: \$44,845.00

estinwbp.wk1 Lotus#1

OK by Mark Edsell - Verbally 8/4/93



Dewkett Engineering, P.C.

Rhinebeck Office Park, Suite 101, 187 East Market Street, Rhinebeck, New York 12572
(914) 876-5250 • Fax: (914) 876-7209

July 22, 1993

Town of New Windsor Planning Board
555 Union Avenue
New Windsor, New York 12553

ATTENTION: MYRA

SUBJECT: NEW WINDSOR BUSINESS PARK
PARCEL 16.4 SITE PLAN
TOWN PROJECT NO: 92-39
D.E. PROJECT NO: 92014.00

Dear Myra:

Enclosed, please find ten (10) sets of the SUBJECT plans, five sets for your use, and five sets to be returned to this office with the approval stamp for the client and our files. In addition, I have also included one copy of the revised estimate for Phase I Development.

The plans have been changed slightly in order to incorporate the NYSDOT comments. Essentially, the changes are the following:

1. The correct edge of pavement is now shown in relation to the site property line.
2. The site entrance has been moved east approximately five (5) feet.
3. A new driveway culvert pipe has been added in order to convey the upstream drainage discharged onto our site. The new culvert has been sized the same as the driveway culvert located directly upstream, which is a 12 inch diameter CMP. The existing 12 inch culvert has also been located on the plan.

Should you have any questions please feel free to contact me at your earliest convenience.

Very truly yours,

DEWKETT ENGINEERING, P.C.

Eileen M. Travis

by: Eileen M. Travis, L.A.

EMT:tms

NWBPMYRA.J22 WP#4



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

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(914) 562-8640
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(717) 296-2765

21 May 1993

MEMORANDUM

TO: Myra Mason, Planning Board Secretary

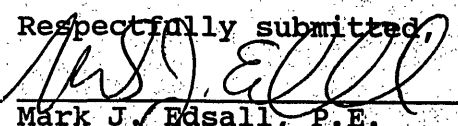
FROM: Mark J. Edsall, P.E., Planning Board Engineer

SUBJECT: NEW WINDSOR BUSINESS PARK SITE PLAN
NEW WINDSOR PLANNING BOARD NO. 92-39
MHE JOB NO. 87-56

Please be advised that I have reviewed the final site plan, stamped received by you on 3 May 1993. Based on my technical review comments for the 28 April 1993 meeting, this plan has been corrected in an acceptable fashion. As such, I am aware of no reason why the plan could not receive final stamp of approval.

Also attached hereto, please find the revised site improvement estimate, specifically prepared for Phase I of the project. Please note that I find this estimate acceptable.

Respectfully submitted,


Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk
Encl.as

A:5-21-3E.mk

ESTIMATE FOR NEW WINDSOR BUSINESS PARK
 REVISION 1 - PHASED DEVELOPMENT
 APRIL 28, 1993
 JOB: 92014.00

DESCRIPTION	UNIT	PRICE	QUANTITY	AMOUNT
PHASE I DEVELOPMENT				
=====				
DRAINAGE INCLD. UTILITIES	LF	\$15.00	716	\$10,740.00
ASPHALT PAVEMENT	SY	\$7.50	2900	\$21,750.00
CONCRETE SIDEWALKS	SY	\$20.00	6	\$120.00
CONCRETE CURBING	LF	\$8.00	1000	\$8,000.00
TRASH ENCLOSURE	LS	\$750.00	100%	\$750.00
SIGNAGE	LS	\$300.00	100%	\$300.00
FLAGPOLE	LS	\$150.00	100%	\$150.00
LANDSCAPING WITH SEEDING	LS	\$5,000.00	100%	\$5,000.00
LIGHTING	LS	\$1,500.00	100%	\$1,500.00
TOTAL:				\$48,310.00

estinwbp.wk1 Lotus#2

*Superseded by
 Estimate Dated
 7/21/93 attached*

RESULTS OF P.B. MEETING

DATE: April 28, 1993

PROJECT NAME: New Windsor Bus Park PROJECT NUMBER 92-39

LEAD AGENCY:

* NEGATIVE DEC:

M) S) VOTE: A N

* M) S) VOTE: A N

CARRIED: YES NO

* CARRIED: YES: NO

PUBLIC HEARING: M) S) VOTE: A N

WAIVED: YES NO

SEND TO OR. CO. PLANNING: M) S) VOTE: A N YES NO

SEND TO DEPT. OF TRANSPORT: M) S) VOTE: A N YES NO

DISAPP: REFER TO Z.B.A.: M) S) VOTE: A N YES NO

RETURN TO WORK SHOP: YES NO

APPROVAL: Phase I only

M) 2 S) 1 VOTE: A N APPROVED:

M) 2 S) 1 VOTE: A 4 N 0 APPR. CONDITIONALLY: D.O.T. WK. Permit
& Below

NEED NEW PLANS: YES NO

DISCUSSION/APPROVAL CONDITIONS: Need more signs for fire
laxes.

Correct built Table

Note on plan for height requirement for Phase II

No need for new SEQRA process due to this
phasing

APRIL 28, 1993

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NEW WINDSOR BUSINESS PARK SITE PLAN 92-39

MR. PETRO: Next is New Windsor Business Park Site Plan represented by Ms. Dewkett.

MS. DEWKETT: Basically we're here for a final approval of the plan.

MR. PETRO: Just give me a chance to get the plan out. We do have a conditional approval from the fire department. Have you read that and are you going to address that or do you want me to read it to you?

MS. DEWKETT: I haven't seen it.

MR. PETRO: 4/19/93 approved under conditional, see review sheet for conditions approval. A review of the above referenced subject site was conducted on April 16, 1993. The maximum distance between fire line signs is 30 feet. Additional signs are required to comply with Town code. So it's that simple. In other words, you need more signs to designate the fire lanes. Once you have that on the map I guess Rob Rikers doesn't have a problem with it. It's that simple. I want to get it in the minutes and make sure we get it on the map.

MR. VAN LEEUWEN: A bigger building than what you had originally planned?

MS. DEWKETT: No, actually the same size building. What we have done is phased the development. Before when we were in here we had 7,900 square foot building same size. But what we had was a full site development for a much larger building. So therefore we had more asphalt, more parking places. What I'd like to do is phase the site work part of it. At this point only develop the amount of asphalt that we need for the size building that we are proposing. That will allow us to have decreased asphalt area, more green area. We're still providing two places more than the minimum required parking spaces, so we meet that.

MR. VAN LEEUWEN: In other words, what you're going to do, you're going to put an addition on this building?

MS. DEWKETT: In the future we might. They might put an addition on the building.

MR. VAN LEEUWEN: I'm confused. The 7,980 square foot office building is that already in place now?

MS. DEWKETT: No.

MR. VAN LEEUWEN: It's going to be built?

MS. DEWKETT: That's going to be built.

MR. VAN LEEUWEN: 3,980 square foot addition --

MS. DEWKETT: What we had originally was a 7,980 square foot building with development, site development large enough for that building plus the 3,980 square foot addition. So what we're now trying to do is phase the development.

MR. VAN LEEUWEN: You're trying to phase in two sections is what you're really trying to say?

MS. DEWKETT: Yes, exactly. So before we had just shown the smaller building with all of the site development. Now what we're showing is what the entire site would look like if both phases one and two were developed. But in the solid lines just what phase one, which is what we're going for tonight, would look like as developed.

MR. PETRO: You know, Kathy, what would work is if you actually showed the full square foot, the whole building. You can always build a smaller building within the footprint. I think that we should look at this application is the full building, no?

MR. EDSALL: Maybe I can jump in and try to make it a little clearer. If you compare this plan and the plan that received conditional final site plan approval on November 11th last year basically it was two changes. One is that the site improvements as Kathy said are now phased. They are identical site improvements if all of it was built, phase one and phase two as to what you have already seen. As Kathy said the site improvements supported a much larger building. They didn't want to build all the site improvements at

once. Now they want to phase them. Second item now they are showing us the building addition whereas they never did before. The problem is that under the current zoning and the height restrictions which are obviously being changed by the Town Board right now, the phase two building would require a variance. So they can't ask for final approval now. So that's what they are looking for.

MR. VAN LEEUWEN: You have only got fifteen feet.

MR. EDSALL: They are looking for action on phase one only making it very clear what you looked at before as far as layout for the total development is still valid. I can say that with an understanding because we worked this out at the workshop.

MR. VAN LEEUWEN: Now I understand what they are trying to do. On the plan it's a little confusing.

MR. EDSALL: Once the Town Board adjusts the zoning, the bulk requirements for building height and/or setback, then they'll have the opportunity to see if phase two can be built as it's shown and then they can come back and ask for a final on that later.

MR. VAN LEEUWEN: When is that going to go through? They have been talking about that for three years.

MS. DEWKETT: I don't think we are talking about phase two development realistic --

MR. VAN LEEUWEN: I'm talking about the change in the zoning law.

MS. DEWKETT: I don't think we are talking about completing phase two within three years.

MR. EDSALL: Obviously if the zoning does not allow for the development as shown here they'd have to adjust phase two and ask for final in a revised form.

MS. DEWKETT: Or ask for a variance.

MR. PETRO: Landscaping, you want to do blacktopping and landscaping in phase two at a different time?

MS. DEWKETT: Yes, well we have two phases to landscaping, also. We have some that we're going to do during phase one and some that we'll do during phase two. The landscaping in the back will be done during phase two. The trees along the front and along the side and around the trash enclosure and the flag pole and around the sign would be done under phase one.

MR. VAN LEEUWEN: The back here it says, there is two phases here. Section one, phase two, three sections, actually. As far as the landscaping and the blacktop is concerned, right?

MR. PETRO: Kathy, when the building is built, the 7,980 square foot office building that's obviously part of phase one, you're going to build a building.

MS. DEWKETT: Right.

MR. PETRO: The landscaping plan as described is for that particular building?

MS. DEWKETT: Phase one is for that building, yes.

MR. PETRO: But all the landscaping on the plan goes around that building. How could you stop your landscaping here and continue it at some later point, I don't understand that.

MS. DEWKETT: Well, the way we set it up is that we're going to try to leave the back of the property as natural as possible. The landscaping was setup except for the exception of the flag pole and the small bushes around the flag pole was setup so that when they do build phase two, if they build phase two it wouldn't interfere with the phase one landscaping. I don't know if I made myself clear.

MR. VAN LEEUWEN: I've never, why do you want to do it this way, John?

MR. MILLER: Why? The 7,980 square feet I'm pleased to tell you, has been been rented to New York Life. Unfortunately if I tried to build all the site improvements that we showed on the original plan I can't afford to build the building.

MR. VAN LEEUWEN: You doing it for economic reasons.

MR. MILLER: We reviewed the site improvements to meet the requirements of what I can build right now. Although the property allows me to build a larger building, we narrowed it down to the parking spaces that I need for the building I'm building currently. If New York Life comes in three years, John, please enlarge the building, I know I can. They know I can.

MR. PETRO: I don't know, the only thing with this is hundreds of applicants that come here, how do we say well you can only put in half the landscaping now because at some point later you're going to do more. In other words, how do we draw a line here and say well, you don't have to. The way around that we'll just phase it, we'll call this phase two. Now I am not talking about economics or your problems. I'm talking about how can we as New Windsor Planning Board say okay, even though we have decided this is the accepted plan, this is the landscaping plan, being for economic reasons you can't do that at this time, you don't have to, we'll call that phase two and you can do it later.

MR. MILLER: First of all, I don't think we are eliminating 50 percent of the landscaping. Additionally I plan on landscaping at least sod around the entire building anyway because it wouldn't be acceptable to New York Life. Even for the time being I will be doing landscaping on both sides of the building and behind the building to some extent just to satisfy my client.

MR. EDSALL: You'd have it finished, it just wouldn't have the plantings that are shown in phase two. I don't know, John, right, there is only a few trees shown as plantings in the rear of the property.

MR. EDSALL: It's not as if it's going to be unfinished, you're not going to have those final plantings.

MS. DEWKETT: The only plantings that aren't going to be built in phase one are just these few small bushes along here. The pines we put to shield the trash enclosure. Now that we are putting the trash

enclosure down here we have them down here to shield the trash enclosure. Three red maples, these small bushes here.

MR. PETRO: I would rather not call it phase one and phase two.

MR. LANDER: Mr. Chairman, if it's not called phase one and phase two then the pavement would have to be put in the back. So it has to be phased. Let them put the phase one grass around the building and they can plant some of these shrubs along the side because on, the other, we have thirty foot of pavement.

MR. PETRO: Where do you want to stop that pavement, now, in your phase two? You're going to stop the pavement?

MS. DEWKETT: We're going to stop it at a curb line along the front of the building.

MR. VAN LEEUWEN: You got down here in front by 300, Temple Hill Road, you got phase two. Phase one on top of phase two on the bottom, that's what's confusing to me.

MS. DEWKETT: I'm sorry, why don't you show me.

MR. VAN LEEUWEN: Phase one and phase two, what does that represent?

MS. DEWKETT: Let me show everybody what we are talking about here. What Mr. VanLeeuwen was indicating is the difference in parking places. What we're doing is bringing the curbing around like this and then we're ending it here in phase one. And bringing it out front. This way it will provide 42 spaces. For phase two what we would do is take out this length of curbing here and bring it out and bring it around like this and pick up additional parking spaces.

MR. VAN LEEUWEN: You're still not answering my questions that phase one phase two by Temple Hill Road, that's where I am confused, unless that is phase two. It doesn't show what you are cutting out.

MS. DEWKETT: Phase one and phase two next to the number of parking spaces. Do you see the 16 to the left of phase one?

MR. VAN LEEUWEN: Phase two 19 more.

MS. DEWKETT: 19 total. Three more parking spaces in this line for phase two. There could be six more parking spaces in this line for phase two and additional parking along in here for phase two.

MR. EDSALL: Those phase one, phase two just are assigned to the number that shows how many spaces.

MR. PETRO: Let's get to the facts. The bottom line in phase one, all the bulk requirements, all the parking requirements, all the requirements are still going to meet the site so he can build the 7,900 square foot building.

MS. DEWKETT: Yes, the one thing that Mark mentioned there is an error, my error here. It's just a drafting error. We do have 14 and a quarter feet which is what is required. We have the 14 and a quarter feet.

MR. PETRO: Also, obviously when the time comes and phase two is implemented you're going to have to come in with a new application, it's not going to be under this application. Part of phase two I think should be a whole new application. Review it at that time. This will be an application for phase one only and the remaining of the other lands remain.

MR. EDSALL: When the plan is brought in for final stamp for phase one I think we should have not only the height correction for the calculation but asterisk the height indicating that at the time of approval of phase one that a variance would be required. Just to note that we've seen that it doesn't work at this point. If the zoning changes when you come back --

MS. DEWKETT: Phase two you mean.

MR. EDSALL: At the time of approval of phase one phase two couldn't be built without a variance. That way you have acknowledged it. If the zoning changes

so be it.

MR. VAN LEEUWEN: I think you're deliberately trying to confuse us.

MS. DEWKETT: No, I was trying to, I mean I could have just gone with phase one but I wanted to show you what we would like the ultimate site to look like.

MR. PETRO: Also, I think a map just of phase one would really be appropriate.

MR. VAN LEEUWEN: I was just going to suggest that. That's the way I would like to see it.

MR. BABCOCK: Just for one second, at the workshop session what we had told Mr. Miller is that the Planning Board likes to look at an overall plan and likes to know what's going to happen in the future. I think we really did ask him to put this on here, phase one and phase two, so that the Board would understand what the whole picture is going to look like.

MR. PETRO: I agree. Can you make it more distinctive somehow? Can you put an outline --

MR. VAN LEEUWEN: Either make it more distinctive or give a separate map tying to this map.

MR. EDSALL: We know the difference. It's clear if you sit down and look at the, that's because you are looking at it for the first time. I have sat down and looked at it.

MR. BABCOCK: It's the idea we asked him to do this so that the Board could have an overall view of the thing.

MR. EDSALL: We have got adjoining parcels. There are interconnections with driveways and such that this will help us if the adjoining parcels are developed, we'll know the ultimate design of this, because this is all one complex, it's important.

MR. PETRO: I don't have any problem with this.

MR. VAN LEEUWEN: I don't either.

MR. PETRO: It seems like the engineer is in favor, so I don't have a problem.

MR. EDSALL: Can we get some things out of the way as far as for the record, Jim?

MR. PETRO: Absolutely. You have gone through S.E.Q.R.A.. You have gone through your outside agency referrals. I think you would be wise to put on the record that in fact the scope of the project has not increased. In fact you're just phasing what you have already approved which if you care to put on the record by motion that there's no need to go through the entire S.E.Q.R.A. process again or make reference for this amendment.

MR. PETRO: We would have to make a motion. We are indeed making, let's see, project number 92-39 that the New Windsor Planning Board indeed is going to accept a two phase application. Have a motion?

MR. VAN LEEUWEN: So move.

MR. LANDER: Second.

MR. PETRO: Motion has been made and seconded by the New Windsor Planning Board for phase application on project number 92-39, phase one and phase two. Any further discussion? If not, roll call.

MR. VAN LEEUWEN: Aye.

MR. DUBALDI: Aye.

MR. LANDER: Aye.

MR. PETRO: Aye.

MR. PETRO: Anything else, Mark?

MR. EDSALL: Just for the record, we received a revised phase one site improvement estimate which means now that we can merely take the difference and that would be the value of this phase two improvements should they come back and immediately if not we'll update the prices, if it's awhile in the future.

MS. DEWKETT: We were here, we did get conditional approvals. One of the conditions that haven't yet been met is the highway permit. Don Green does have

the application. I spoke to him yesterday. There was a little mix up on the insurance. But we should have it within two weeks. He indicated we should have it by May 10 at the latest.

MR. VAN LEEUWEN: As long as we have it before we approve it. We cannot approve without it.

MS. DEWKETT: Last time you gave us conditional. You wouldn't stamp the mylar. That's what we would request, would be a conditional approval based on putting that additional note on, changing the height and putting the fire lane signs in.

MR. VAN LEEUWEN: You want to move for this tonight?

MS. DEWKETT: Yes, sir, please.

MR. PETRO: Approval on phase one and two?

MR. EDSALL: You're doing the same thing. What you have already done is to consider approval but condition it that you wouldn't stamp it until you get your D.O.T. permit. We have to be very careful, it is for phase one only and they have to reapply for phase two in the future.

MR. LANDER: So moved, Mr. Chairman.

MR. VAN LEEUWEN: I'll second it.

MR. PETRO: Motion made and seconded New Windsor Planning Board give phase one approval to New Windsor Park site plan project number 92-39 subject to receiving the D.O.T. permit for phase one. Any further discussion from the Board members?

MR. VAN LEEUWEN: The couple of items have to be put on the map.

MR. PETRO: A couple of items put on the map. Roll call.

MR. VAN LEEUWEN: Aye.

MR. DUBALDI: Aye.

MR. LANDER: Aye.

MR. PETRO: Aye.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

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Milford, Pennsylvania 18337
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TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: NEW WINDSOR BUSINESS PARK SITE PLAN
DEVELOPMENT LOT 16.4
PROJECT LOCATION: NYS ROUTE 300
SECTION 4-BLOCK 2-LOT 16.4
PROJECT NUMBER: 92-39
DATE: 28 APRIL 1993
DESCRIPTION: THE APPLICATION INVOLVES THE DEVELOPMENT OF A
7,980 SQUARE FOOT OFFICE BUILDING ON THE 1.5 +/-
ACRE PARCEL. THE PLAN WAS MOST RECENTLY REVIEWED
AT THE 11 NOVEMBER 1992 PLANNING BOARD MEETING, AT
WHICH TIME IT RECEIVED CONDITIONAL SITE PLAN
APPROVAL.

1. At this time, this application has received conditional site plan approval; however, the Applicant is returning to the Board to modify the site plan to provide for a two phased development of the project. Phase II includes a proposed addition on the south side of the Phase I building.

The phased approach to the site development is a reasonable and prudent approach, such that the site improvements are completed in a manner consistent with the building development. The Board should review this phased approach, with specific attention to those site elements which have been deferred to Phase II (i.e. some landscaping, sidewalks, etc.).

2. Both phases appear to comply with the minimum bulk requirements, with the exception of the building height for Phase II.

It should be noted that the building height calculation indicated for Phase I appears incorrect, based on the dimension to the nearest lot line of 28.5 feet (i.e. a Phase I permitted height of 14.25 should be indicated). With regard to the second phase, the dimension to the nearest lot line decreases, thereby requiring a variance for the dimension and height indicated.

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

-2-

PROJECT NAME: NEW WINDSOR BUSINESS PARK SITE PLAN
DEVELOPMENT LOT 16.4
PROJECT LOCATION: NYS ROUTE 300
SECTION 4-BLOCK 2-LOT 16.4
PROJECT NUMBER: 92-39
DATE: 28 APRIL 1993

3. The previously submitted (and accepted) site improvement estimate should be revised to reflect the two phase approach.
4. The Board should consider the procedure for processing of this amendment to the active application (i.e. will the phased approach and building addition be processed under Application 92-39?). Further, acknowledgement that the modification does not affect the completed SEQRA review process and outside agency referrals/approvals should be considered for the record.
5. At such time that the Planning Board has made further review of this application, further engineering reviews and comments will be made, as deemed necessary by the Board.

Respectfully submitted,


Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

A:NWBUS.mk



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

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PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF New Windsor P/B #

WORK SESSION DATE: 17 March 1993 APPLICANT RESUB.
REQUIRED: Yes Full

REAPPEARANCE AT W/S REQUESTED: Yes

PROJECT NAME: NW Bss Plk S/P Am.

PROJECT STATUS: NEW X OLD

REPRESENTATIVE PRESENT: J. Miller

MUNIC REPS PRESENT: BLDG INSP. X
FIRE INSP. X
ENGINEER X
PLANNER
P/B CHMN.
OTHER (Specify)

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

Wants to save \$ on site improvement

Bevergreen

100 low planting by code

Create 2 phases on plan

show future addition as phase II

get revised plan

November 11, 1992

22

NEW WINDSOR BUSINESS PARK SITE PLAN (92-39) ROUTE 300

Katherine Dewkett appeared before the board representing this proposal.

MS. DEWKETT: I'm Kathy Dewkett from Dewkett Engineering representing New Windsor Business Park Associates. We were here about a month ago I guess October 14 meeting for conceptual site plan approval and tonight we're here for final approval of the site plan. We've addressed all the concerns from the evening. There really weren't any Planning Board concerns stated last time. It's been sent to County Planning and the letter came back saying that it was a local determination and the DOT has said that there's no objections to the plan.

MR. PETRO: That was on 11/4/92 and 10/2/92 respectively.

MR. VAN LEEUWEN: Did you get DOT highway work permit?

MS. DEWKETT: We do not have the permit. Mr. Green indicated that a permit is not needed but Mark has been trying to get in touch with Don.

MR. EDSALL: My understanding is that Don doesn't object to what's proposed but he believes that there's an active permit here from a previous project I think he may have just the actual location confused. You'll note in my comments that it is my opinion that they'll need a permit. I think we should tell them they need a permit but I believe we can accept Don's response that he has no objection.

MS. DEWKETT: We have the paperwork filled out, it just hasn't been submitted yet.

MR. VAN LEEUWEN: John Miller still on this? Are you working for John?

MS. DEWKETT: Yes. Stewart Cantor is here who works with John.

MR. PETRO: Fire was approved on 11/9/92. All the

November 11, 1992

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landscaping seems to be in place. Carmen, do you see anything there, Karl?

MR. DUBALDI: Everything looks fine. I make a motion we declare negative dec.

MR. VAN LEEUWEN: I'll second it.

MR. PETRO: Motion has been made and seconded to declare negative dec on the New Windsor Business Park site plan.

ROLL CALL

MR. VAN LEEUWEN	AYE
MR. SCHIEFER	AYE
MR. DUBALDI	AYE
MR. PETRO	AYE

MR. VAN LEEUWEN: I still feel that we ought to take this plan to Don Green and get a highway work permit otherwise we're going to run into a problem. Mark was right on that point. Otherwise we'd like to see a letter from Don that you don't need it.

MS. DEWKETT: Letter does say that.

MR. EDSALL: He's already responded, I believe he just failed to check off that they need a permit. So what I am suggesting--

MS. DEWKETT: On the bottom of the letter it says we don't need one.

MR. EDSALL: There's a little confusion as to exactly where.

MR. VAN LEEUWEN: You mean Don is confused for a change?

MR. EDSALL: I think this one we can help this out instead of him usually helping us out, he does have no objection so you can proceed with the application but the board should go on record indicating that they

November 11, 1992

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should obtain a permit.

MR. PETRO: The New Windsor Planning Board will require a permit and at that point, we'll just get to Don and find out what his mistake is.

MR. SCHIEFER: He goes on record.

MR. PETRO: We're going to require that they do, we can make the application subject to the requiring DOT permit.

MR. SCHIEFER: I have no problem with that.

MR. PETRO: New Windsor Planning Board require that the a bond estimate be submitted in accordance with paragraph A(1) (g) of Chapter 19 of the Town Code.

MR. EDSALL: I just received that estimate, any action you may take could be subject to this being finalized.

MR. PETRO: I was speaking on serious business, does anyone have any other discussion on this?

MR. SCHIEFER: I'll make a motion we approve it subject to those 2 conditions, final approval. I'd like to final approval New Windsor Business Park Site Plan development lot 16.4 because before we made a motion for New Windsor Business Park and that is much too broad, get down to the specifics subject to we get the permit from the DOT and the bond estimate is acceptable. With those 2 exceptions, I {see|is he} no problem with it.

MR. DUBALDI: I second the motion.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board approve New Windsor Park Site Plan development of 16.4 subject to approval from New York State DOT curb cut.

MR. VAN LEEUWEN: How large are the parking places?

MS. DEWKETT: 10 by 20.

November 11, 1992

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MR. PETRO: Subject to the bond estimate being accepted. Any further discussion from the board members?

ROLL CALL

MR. VAN LEEUWEN	AYE
MR. SCHIEFER	AYE
MR. DUBALDI	AYE
MR. PETRO	AYE

RESULTS OF P.B. MEETING

DATE: November, 11, 1992

PROJECT NAME: New Windsor Bus. PK.

PROJECT NUMBER 92-39

LEAD AGENCY: _____

NEGATIVE DEC: 11-11-92

PUBLIC HEARING: _____

DISCUSSION:

SEND TO ORANGE CO. PLANNING: _____

DISAPPROVED AND REFERRED TO Z.B.A.: YES _____ NO _____

RETURN TO WORK SHOP: YES _____ NO _____

APPROVED _____ APPROVED CONDITIONALLY 11-11-92

NEED NEW PLANS: YES _____ NO _____

REASON FOR NEW PLANS OR CONDITIONS OF APPROVAL: _____

Need highway work permit as required by
the Planning Board
Need site bond estimate

TOWN OF NEW WINDSOR

TOWN HALL, 555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

TO Frances Roth 389 Morris Hill Rd DR.
New Windsor, NY 12550

DATE			CLAIMED	ALLOWED
6/14/92	Planning Board Meeting			75 00
	Misc 2			9 00
	Windsor Heights - 1			4 50
	JHFS - 30			13 50
	✓ Fox River - 17			76 50
	✓ Dantas - 14			63 00
	✓ Park, Fly & Drive - 21			94 50
	✓ Bernhardt - 2			9 00
	✓ Windsor Counseling - 4			18 00
	✓ N.W. Business Park - 4			18 00
	✓ Hagen - 6			27 00
	✓ Ross - 1 / Windsor, Fire House - 2			4.50 / 9.00
	Washington Green - 1 / Hilltop - 6 / Foxwood - 2			4.50 / 27.00 / 9.00

462.00

NEW WINDSOR BUSINESS PARK SITE PLAN (92-39) ROUTE 300

Kathrine Dewkett from Dewkett Engineering appeared before the board representing this proposal along with Mr. John Miller.

MS. DEWKETT: I'm representing John Miller and New Windsor Business Park. What we're here with is a site plan for parcel 16 of the New Windsor Business Park. It's the parcel that, well, here is Commerce Drive over here and there is a large parcel and this is the smaller parcel. This parcel was actually in back in 1989 for a potential zoning change. At that point, we had hoped to put in a retail and bank and restaurant kind of facility to serve the office park. At this point, we're not acting on that application anymore and we're here for a approximately 8,000 square feet of office building.

MR. LANDER: Kathy, let me get this straight, this is up the road from the business park?

MR. PETRO: Across from Brewster House.

MR. DUBALDI: Is that where the trailer is?

MS. DEWKETT: It's up hill of the trailer.

MR. LANDER: There's an existing curb cut?

MS. DEWKETT: The existing curb cut is right here so it is just up the hill from that.

MR. PETRO: It's all filled in property, the property has been filled in there. There was a big culvert that goes across the street.

MS. DEWKETT: There was a big culvert, it's just passed the curb cut over here. And the subdivision was approved by the Planning Board I believe January of 1990. At that time, the Master Plan for the subdivision actually showed this development but with a bigger building, approximately 12,000 square foot building and again we were going for a zoning change at

that time. We're here tonight for conceptual site plan approval and like I said, this building here, it's within the zoning, it's an office building, it's approximately 8,000 square feet. We meet or exceed all of the bulk regulations and the drainage is going to be worked out as originally proposed in the office park. We'll be draining this parcel with a couple of catch basins and getting it to an open swale that will go into that 60 inch culvert and then as New Windsor Business Park develops, this parcel of land that will then be closed in.

MR. LANDER: Now, Kathy, you don't have a master plan with you showing where this other curb cut is going to be?

MR. PETRO: Fire Department has approved this conceptual plan on 10/9/92.

MR. BABCOCK: Ron, on the project location map, the little map if you look at that, you'll see where that access road would access into that lot 16.1. Do you see that? So basically that would be possibly the entrance for that we have already talked to the applicant about that and very good possibility that that will not be used at all but it would be addressed at the next site plan approval for that piece of property.

MR. LANDER: So they would be inter-connecting?

MS. DEWKETT: Yeah, just be an interconnection between the two. This is the subdivision plan or the Master Plan, this was, I think, before the approval but this is when it was being represented by a different engineering firm.

MR. PETRO: Ron, do you have any major problems?

MR. LANDER: No.

MR. SCHIEFER: I make a motion we take lead, New Windsor Planning Board take lead agency in this matter.

MR. DUBALDI: Second it.

October 14, 1992

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MR. PETRO: Motion has been made and second that the New Windsor Planning Board take lead agency on the New Windsor Business Park Development lot 16.4. Roll call.

ROLL CALL

MR. SCHIEFER	AYE
MR. DUBALDI	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. SCHIEFER: And since this is within the park, I personally see no need for a public hearing. What do the other board members feel?

MR. DUBALDI: I agree.

MR. SCHIEFER: I make a motion we waive the public hearing.

MR. DUBALDI: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board waive public hearing on development of lot number 16.4. Roll call.

ROLL CALL

MR. SCHIEFER	AYE
MR. DUBALDI	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. SCHIEFER: All they want is conceptual approval right now?

MR. PETRO: Obviously, the plan has to go to the Orange County Planning.

MR. LANDER: I know John is going to put sidewalks.

MR. EDSALL: There's nothing in the code about final approval so if you just give the applicant an indications how they'd fair when they come back from

) other agencies, that is about all we can do.

MR. PETRO: At this point, as far as we can do conceptually, do we like it, do we have a motion?

MR. LANDER: If he does the same job he did on the other buildings, he will have no problem.

MR. EDSALL: It has been referred because of the completeness of the plan and the fact that all the concept type comments were addressed. We have referred it to the DOT and referred it to Planning. There are several details that we work at as part of final plans. We'll do that at the workshop.

MR. PETRO: Ron, do you like the plan?

MR. LANDER: I have no problem.

MR. DUBALDI: Love it.

MR. SCHIEFER: No problem.

MR. PETRO: Looks very nice, thank you.

ESTIMATE FOR NEW WINDSOR BUSINESS PARK

NOVEMBER 12, 1992

JOB: 92014.00

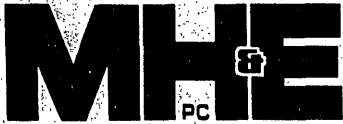
876-5250

DESCRIPTION	UNIT	PRICE	QUANTITY	AMOUNT
DRAINAGE INCLD. UTILITIES	LF	\$15.00	959	\$14,385.00
ASPHALT PAVEMENT	SY	\$7.50	4300	\$32,250.00
BRICK PAVERS	SF	\$6.00	370	\$2,220.00
CONCRETE SIDEWALKS	SY	\$20.00	290	\$5,800.00
CONCRETE CURBING	LF	\$8.00	1770	\$14,160.00
TRASH ENCLOSURE	LS	\$750.00	100%	\$750.00
SIGNAGE	LS	\$300.00	100%	\$300.00
FLAGPOLE	LS	\$150.00	100%	\$150.00
LANDSCAPING WITH SEEDING	LS	\$7,500.00	100%	\$7,500.00
LIGHTING	LS	\$1,500.00	100%	\$1,500.00

TOTAL: \$79,015.00

estinwbp.wk1

OK
JFK\$ 2580.30
~~3160.60~~
\$ 150.00



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

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45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- ☐ Branch Office
400 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: NEW WINDSOR BUSINESS PARK SITE PLAN
DEVELOPMENT LOT 16.4
PROJECT LOCATION: NYS ROUTE 300
SECTION 4-BLOCK 2-LOT 16.4
PROJECT NUMBER: 92-39
DATE: 14 OCTOBER 1992
DESCRIPTION: THE APPLICATION INVOLVES THE DEVELOPMENT OF A
7,980 SQUARE FOOT OFFICE BUILDING ON THE
1.5 +/- ACRE PARCEL. THE PLAN WAS REVIEWED ON A
CONCEPT BASIS ONLY.

1. This new application is for an office building and supersedes the previous application (which is an "open" file), referenced as NWPB 89-11.
2. From a concept standpoint, the plan appears to meet the appropriate requirements for the PI Zone. On-site development improvements appear to be consistent with Code requirements and development guidelines.
3. Additional details and information will be necessary for the final site plan; however, I recommend that the Board discuss this plan in concept, prior to proceeding with the detailed plan. The individual items necessary can be reviewed in detail at the Technical Workshop meeting.
4. The Planning Board may wish to assume the position of Lead Agency under the SEQRA process.
5. The Planning Board should determine, for the record, if a Public Hearing will be necessary for this Site Plan, per its discretionary judgement under Paragraph 48-19.C of the Town Zoning Local Law.

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

-2-

PROJECT NAME: NEW WINDSOR BUSINESS PARK SITE PLAN
DEVELOPMENT LOT 16.4
PROJECT LOCATION: NYS ROUTE 300
SECTION 4-BLOCK 2-LOT 16.4
PROJECT NUMBER: 92-39
DATE: 14 OCTOBER 1992

6. Submittal of this plan/application to the New York State Department of Transportation and Orange County Planning Department will be required.
7. At such time that the Planning Board has made further review of this application, further engineering reviews and comments will be made, as deemed necessary by the Board.

Respectfully submitted,


Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

A:NWBUS.mk



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

December 10, 1992

New York State Dept. of Transportation
112 Dickson Street
Newburgh, NY 12550

ATTENTION: MR. DONALD GREENE

SUBJECT: RESOLUTION FOR SIDEWALK FOR NEW WINDSOR BUSINESS
PARK - P.B. #92-39

Dear Mr. Greene:

As Secretary to the New Windsor Planning Board, I certify that the enclosed is a true copy of the resolution as adopted by the New Windsor Planning Board at the regular meeting of December 9, 1992.

If you should have any questions, please feel free to contact me.

Very truly yours,

Myra L. Mason
Myra L. Mason, Secretary to
the New Windsor Planning Board

MLM

cc: Mark J. Edsall, P.E., P.B. Engineer
Katherine Dewkett, P.E. - Representative for N.W. Bus. Park
File #92-39



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

MOTION BY: Henry Van Dusen

SECONDED BY: Carl Schiefer

That the New Windsor Planning Board adopt the following Resolution for Maintenance of Sidewalk for New Windsor Business Park, New Windsor Planning Board Application Number 92-39.

Resolution of Town of New Windsor Planning Board .

Whereas the plans for the subject application show the construction of sidewalk on State Highway Route 300, in the Town of New Windsor pursuant to section 10, subdivision 22, section 46 or section 349-C of the Highway Law.

Now therefore:

Be it resolved: that the Town of New Windsor hereby approves the construction of sidewalks as shown on the plans relating to this project, and that the Town of New Windsor will maintain, or cause to be maintained, the sidewalks, as above stated and shown on the plans, including the control of snow, ice and trimming of brush for safe passage.

BE IT FURTHER RESOLVED: that the secretary of this Board is hereby directed to transmit a copy of the foregoing resolution to the State Department of Transportation.

ROLL CALL: All Ayes

MOTION CARRIED: 12/9/92



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

- ☐ **Main Office**
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TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

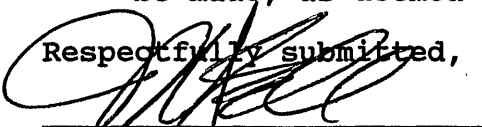
PROJECT NAME: NEW WINDSOR BUSINESS PARK SITE PLAN
DEVELOPMENT LOT 16.4
PROJECT LOCATION: NYS ROUTE 300
SECTION 4-BLOCK 2-LOT 16.4
PROJECT NUMBER: 92-39
DATE: 11 NOVEMBER 1992
DESCRIPTION: THE APPLICATION INVOLVES THE DEVELOPMENT OF A
7,980 SQUARE FOOT OFFICE BUILDING ON THE
1.5 +/- ACRE PARCEL. THE PLAN WAS PREVIOUSLY
REVIEWED AT THE 14 OCTOBER 1992 PLANNING BOARD
MEETING.

1. All previous engineering comments have been addressed as part of the resubmittal. Further, it is my understanding that all approvals from outside agencies have been received.

With regard to the NYSDOT approval, it is my understanding that a Highway Work Permit will be required for any construction within the right-of-way, as proposed on the plan. This permit should be obtained prior to application for a building permit or start of construction of the related work.

2. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA and make a determination regarding environmental significance.
3. The Planning Board should require that a bond estimate be submitted for this Site Plan in accordance with Paragraph A(1)(g) of Chapter 19 of the Town Code.
4. At such time that the Planning Board has made further review of this application, further engineering reviews and comments will be made, as deemed necessary by the Board.

Respectfully submitted,


Mark J. Edsall, P.E.
Planning Board Engineer
MJEmk
A:NWBUS2.mk

RESULTS OF P.B. MEETING

DATE: October 14, 1992

PROJECT NAME: N.W. Business Park

PROJECT NUMBER 92-39

LEAD AGENCY: 10-14-92

NEGATIVE DEC: _____

PUBLIC HEARING: Waived 10-14-92

DISCUSSION:

Conceptually approved

SEND TO ORANGE CO. PLANNING: _____

DISAPPROVED AND REFERRED TO Z.B.A.: YES _____ NO _____

RETURN TO WORK SHOP: YES _____ NO _____

APPROVED _____ APPROVED CONDITIONALLY _____

NEED NEW PLANS: YES _____ NO _____

REASON FOR NEW PLANS OR CONDITIONS OF APPROVAL: _____

TOWN CLERK



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., ~~WATER~~, SEWER, ~~HIGHWAY~~

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 92 - 39

DATE PLAN RECEIVED: APR 13 1993

The maps and plans for the Site Approval N.W. Business Park
Subdivision _____ as submitted by
Dewberry for the building or subdivision of
_____ has been
reviewed by me and is approved ✓
disapproved _____.

If disapproved, please list reason _____

[Signature]
HIGHWAY SUPERINTENDENT

5/4/93

DATE

WATER SUPERINTENDENT

5/4/93

DATE

SANITARY SUPERINTENDENT

DATE

INTER OFFICE CORRESPONDENCE

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: 7 May 1993

SUBJECT: New Windsor Business Park

PLANNING BOARD REFERENCE NUMBER: PB-92-39

DATED: 3 May 1993

FIRE PREVENTION REFERENCE NUMBER: FPS-93-025

A review of the above referenced subject site plan was conducted on 7 May 1993. This review was completed in order to clear my comments on my review FPS-93-020, dated 19 April 1993.

This site plan is acceptable.

PLANS DATED: 29 April 1993; Revision 3.


Robert F. Rodgers, CCA
Fire Inspector

RFR:mr
Att.

CC: H.E.

INTER OFFICE CORRESPONDENCE

TO: Town Planning Board
FROM: Town Fire Inspector
DATE: 19 April 1993
SUBJECT: New Windsor Business Park

PLANNING BOARD REFERENCE NUMBER: PB-92-39
DATED: 13 April 1993

FIRE PREVENTION REFERENCE NUMBER: FPS-93-020

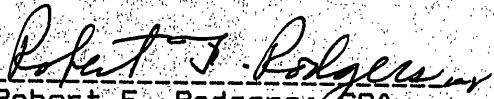
A review of the above referenced subject site plan was conducted on 16 April 1993, with the following being noted:

Chapter 44, Section 11, Page 4422, New Windsor Code:

The maximum distance between fire lane signs is 30 feet.
additional signs are required to comply with Town Code.

If the above mentioned signs are installed, per an agreement at the Planning Board meeting, and an engineering stamp and signature is affixed to the plans, this plan is approved.

PLANS DATED: 25 March 1993; Revision 2.


Robert F. Rodgers, CCA
Fire Inspector

RFR:mr
Att.



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 92 - 39

DATE PLAN RECEIVED: NOV - 5 1992 Rev. 1

The maps and plans for the Site Approval New Windsor Business Park
Subdivision _____ as submitted by

_____ for the building or subdivision of
_____ has been

reviewed by me and is approved ✓,
disapproved _____.

If disapproved, please list reason _____

[Signature] 12/8/92
HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE

NEW YORK STATE DEPARTMENT OF TRANSPORTATION
EAST ORANGE AND ROCKLAND OFFICE
PERMIT INSPECTION
112 DICKSON STREET
NEWBURGH, NEW YORK 12550
Telephone (914) 562-4094

Albert J. Bauman
Regional Director

Franklin E. White
Commissioner

OCTOBER 26, 1992

Planning & Zoning Board
Town of NEW WINDSOR
55 Union Ave.
New Windsor, N.Y. 12553

Re: NEW WINDSOR BUSINESS PARK
ROUTE 300 TEMPLE HILL ROAD

Dear Chairperson;

We have reviewed this matter and please find our comments checked below.

_____ A highway work permit will be required. Please ask Building Department not to issue building permit without proof of State Highway Work Permit.

XX No objection.

_____ Need additional information; Traffic study _____, and or Drainage study _____.

_____ To be reviewed by Regional Office.

_____ Does not effect New York State Department of Transportation.

PLEASE NOTE: Entrance must conform to state highway work permit.

ADDITIONAL COMMENTS: THIS SECTION HAS AN EXISTING DRIVEWAY AS SHOWN ON THE PLANS SUBMITTED TO THE PLANNING BOARD. THEREFORE NO PERMIT IS REQUIRED FOR ACCESS.

Yours truly,


Donald Greene
C.E.I Permits
East Orange and Rockland Counties.



MARY MCPHILLIPS
County Executive

**Department of Planning
& Development**

124 Main Street
Goshen, New York 10924
(914) 294-5151

PETER GARRISON Commissioner
VINCENT HAMMOND Deputy Commissioner

**ORANGE COUNTY DEPARTMENT OF PLANNING & DEVELOPMENT
239 I., M or N Report**

This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and Countywide considerations to the attention of the municipal agency having jurisdiction.

Referred by Town of New Windsor

D P & D Reference No. NWT 31 92 M

County I.D. No. 4 / 2 / 16.4

Applicant New Windsor Business Park Ass.

Proposed Action: Site Plan

State, County, Inter-Municipal Basis for 239 Review Within 500' of NYS Hwy #300

Comments: There are no significant Inter-community or Countywide concerns to bring to your attention.

Related Reviews and Permits _____

County Action: Local Determination XX Disapproved _____ Approved _____

Approved subject to the following modifications and/or conditions: _____

11/4/92

Date

Peter Garrison
Commissioner



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 92- 39

DATE PLAN RECEIVED: NOV - 5 1992 Rev. 1

The maps and plans for the Site Approval Town Water

Subdivision _____ as submitted by

_____ for the building or subdivision of

_____ has been

reviewed by me and is approved X _____,

disapproved _____.

If disapproved, please list reason _____

HIGHWAY SUPERINTENDENT DATE

John Ruff 11-12-92
WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE

INTER OFFICE CORRESPONDENCE

TO: Town Planning Board
FROM: Town Fire Inspector
DATE: 9 November 1992
SUBJECT: New Windsor Business Park

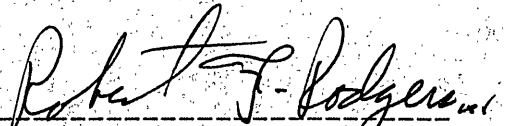
PLANNING BOARD REFERENCE NUMBER: PB-92-39
DATED: 5 November 1992

FIRE PREVENTION REFERENCE NUMBER: FPS-92-068

A review of the above referenced subject site plan was conducted on 6 November 1992.

This site plan is acceptable.

PLANS DATED: 4 November 1992; Revision 1.


Robert F. Rodgers; CFA
Fire Inspector

RFR:mr
Att.

✓
CC: M.E.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

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(717) 296-2765

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

TOWN/VILLAGE OF

New Windsor

P/B #

92-39

WORK SESSION DATE:

3 Nov 92

APPLICANT RESUB.

REQUIRED:

new plans

REAPPEARANCE AT W/S REQUESTED:

No

PROJECT NAME:

N.W. Bus. Pk.

PROJECT STATUS:

NEW

OLD

REPRESENTATIVE PRESENT:

Kathy D. Carol Lee

MUNIC REPS PRESENT: BLDG INSP.

VA

FIRE INSP.

X

ENGINEER

X

PLANNER

P/B CHMN.

OTHER (Specify)

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

clin c/o for paymaster area

mfg coord

s/p estimate

4MJ91 pbwefom



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

92-39

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

The maps and plans for the Site Approval 1 to Business Park
Subdivision _____ as submitted by
_____ for the building or subdivision of
_____ has been
reviewed by me and is approved _____,
disapproved _____.

If disapproved, please list reason My concern is
water drainage on above project.

FF 10/15/92
HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE

CC: H.E.



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

92-39

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, ~~SEWER~~, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

The maps and plans for the Site Approval ✓
Subdivision _____ as submitted by
_____ for the building or subdivision of
N.W. BUSINESS PARK has been
reviewed by me and is approved ✓,
disapproved _____.

If disapproved, please list reason _____

HIGHWAY SUPERINTENDENT _____ DATE _____

WATER SUPERINTENDENT _____ DATE _____

Ch. J. [Signature] 10-26-92
SANITARY SUPERINTENDENT _____ DATE _____

✓
C.C.M.E.



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

92 - 39

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., ~~WATER~~, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

The maps and plans for the Site Approval _____

Subdivision _____ as submitted by

Dunkett Eng for the building or subdivision of
New Windsor business Park has been

reviewed by me and is approved ☒

~~disapproved~~ _____

~~If disapproved, please list reason~~

Water is available for this project

HIGHWAY SUPERINTENDENT DATE

Steve D. D. 10-13-92
WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE

CC: M.E.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

- ☐ Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- ☐ Branch Office
400 Broad Street
Millford, Pennsylvania 18337
(717) 296-2765

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: NEW WINDSOR BUSINESS PARK SITE PLAN
DEVELOPMENT LOT 16.4
PROJECT LOCATION: NYS ROUTE 300
SECTION 4-BLOCK 2-LOT 16.4
PROJECT NUMBER: 92-39
DATE: 14 OCTOBER 1992
DESCRIPTION: THE APPLICATION INVOLVES THE DEVELOPMENT OF A
7,980 SQUARE FOOT OFFICE BUILDING ON THE
1.5 +/- ACRE PARCEL. THE PLAN WAS REVIEWED ON A
CONCEPT BASIS ONLY.

1. This new application is for an office building and supersedes the previous application (which is an "open" file), referenced as NWPB 89-11.
2. From a concept standpoint, the plan appears to meet the appropriate requirements for the PI Zone. On-site development improvements appear to be consistent with Code requirements and development guidelines.
3. Additional details and information will be necessary for the final site plan; however, I recommend that the Board discuss this plan in concept, prior to proceeding with the detailed plan. The individual items necessary can be reviewed in detail at the Technical Workshop meeting.
4. The Planning Board may wish to assume the position of Lead Agency under the SEQRA process.
5. The Planning Board should determine, for the record, if a Public Hearing will be necessary for this Site Plan, per its discretionary judgement under Paragraph 48-19.C of the Town Zoning Local Law.

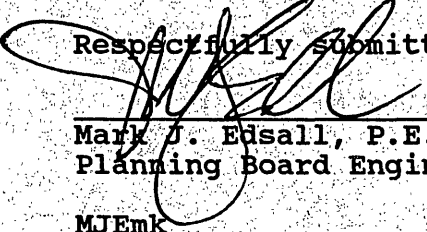
TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

-2-

PROJECT NAME: NEW WINDSOR BUSINESS PARK SITE PLAN
DEVELOPMENT LOT 16.4
PROJECT LOCATION: NYS ROUTE 300
SECTION 4-BLOCK 2-LOT 16.4
PROJECT NUMBER: 92-39
DATE: 14 OCTOBER 1992

6. Submittal of this plan/application to the New York State Department of Transportation and Orange County Planning Department will be required.
7. At such time that the Planning Board has made further review of this application, further engineering reviews and comments will be made, as deemed necessary by the Board.

Respectfully submitted,


Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

A:NWBUS.mk

INTER OFFICE CORRESPONDENCE

TO: Town Planning Board
FROM: Town Fire Inspector
DATE: 13 October 1992
SUBJECT: New Windsor Business Park

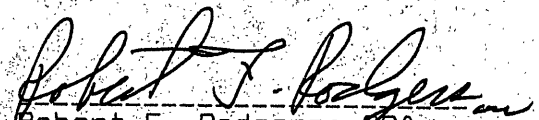
PLANNING BOARD REFERENCE NUMBER: PB-92-39
DATED: 9 October 1992

FIRE PREVENTION REFERENCE NUMBER: FPS-92-061

A review of the conceptual site plan of the above referenced subject was conducted on 13 October 1992.

This site plan is approved.

PLANS DATED: 7 October 1992; Revision 1.


Robert F. Rodgers; C.A.
Fire Inspector

RFR:mr
Att.

CC: H.E.

ORANGE COUNTY DEPARTMENT OF PLANNING
APPLICATION FOR MANDATORY COUNTY REVIEW
OF LOCAL PLANNING ACTION

(Variances, Zone Changes, Special Permits, Subdivisions, Site Plans)

Local File No. 92-39

1. Municipality TOWN OF NEW WINDSOR Public Hearing Date _____

☐ City, Town or Village Board ☒ Planning Board ☐ Zoning Board

2. Owner: Name New Windsor Business Park Associates

Address 296 Temple Hill Road - New Windsor, N.Y.

3. Applicant*: Name _____

Address _____

* If Applicant is owner, leave blank

4. Location of Site: Temple Hill Road (Rt. 300) (North Side)
(street or highway, plus nearest intersection)

Tax Map Identification: Section 4 Block 2 Lot 16.4

Present Zoning District PI Size of Parcel 1.510 Acres

5. Type of Review:

Special Permit: _____

Variance: Use _____

Area _____

Zone Change: From _____ To _____

Zoning Amendment: To Section _____

Subdivision: Number of Lots/Units _____

Site Plan: Use 7,980 S.F. Office Building

10/9/92
Date

Mynal Mason, Secy for the P.B.
Signature and Title



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

- ☐ Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- ☐ Branch Office
400 Broad Street
Millford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

1-3

TOWN/VILLAGE OF

New Windsor

P/B #

92 - 39

WORK SESSION DATE:

16 Oct 1998

APPLICANT RESUB.

REQUIRED:

Full App

REAPPEARANCE AT W/S REQUESTED:

No

PROJECT NAME:

NWBP Lot 16.4

PROJECT STATUS:

NEW

☒

OLD

REPRESENTATIVE PRESENT:

Jan M. / Cath Dentel

MUNIC REPS PRESENT: BLDG INSP.

FIRE INSP.

Rich's John

ENGINEER

PLANNER

P/B CHMN.

OTHER (Specify)

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

Formerly 89-11 / fir loc plan.

~~OCDB~~ ~~NYSDOT~~ / Water - sewer

MYRA

MCE

Site sign 40 sq ft.

Strd & detail / back to back.

shift dumpsters - call out w/1.

lose 5 spaces at left. adj curb.

fire lane signs / show hyd. loc on 300

appl box / paving curb detail

on-site drainage / finished contours

landscape schedule / lighting

slw detail along Rt 300

4MJE91 pbwsform

waiver/H

\$750
escrow

940-10-20
MYRA
send
copy
to
OCDB
as soon
as rec'd

Planning Board
Town of New Windsor
555 Union Avenue
New Windsor, NY 12550

(This is a two-sided form)

Date Received _____
Meeting Date _____
Public Hearing _____
Action Date _____
Fees Paid _____

APPLICATION FOR SITE PLAN, SUBDIVISION PLAN,
OR LOT LINE CHANGE APPROVAL

1. Name of Project New Windsor Business Park - Parcel 16.4
2. Name of Applicant New Windsor Business Park Associates Phone (914) 565-6434
Address 296 Temple Hill Road New Windsor, NY 12553
(Street No. & Name) (Post Office) (State) (Zip)
3. Owner of Record New Windsor Business Park Associates Phone (914) 565-0434
Address 296 Temple Hill Road New Windsor, NY 12553
(Street No. & Name) (Post Office) (State) (Zip)
4. Person Preparing Plan Dewkett Engineering Phone (914) 876-5250
Address P.O. Box 611 Rhinebeck, NY 12572
(Street No. & Name) (Post Office) (State) (Zip)
5. Attorney _____ Phone _____
Address _____
(Street No. & Name) (Post Office) (State) (Zip)
6. Person to be notified to represent applicant at Planning Board Meeting Jon Miller Phone (718) 995-4577
(Name)
7. Location: On the North side of Temple Hill Road
1000 feet East
(Street)
of Union Avenue
(Street)
8. Acreage of Parcel 1.51 ± 9. Zoning District PI
10. Tax Map Designation: Section 4 Block 2 Lot 16.4
11. This application is for 7980 SF Office Building

12. Has the Zoning Board of Appeals granted any variance or a Special Permit concerning this property? NO

If so, list Case No. and Name _____

13. List all contiguous holdings in the same ownership
Section 4 Block 2 Lot(s) 16.1

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed.

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

OWNER'S ENDORSEMENT
(Completion required ONLY if applicable)

COUNTY OF ORANGE

SS.:

STATE OF NEW YORK

Jonathan Miller being duly sworn, deposes and says that he resides at _____ in the County of Nassau and State of New York and that he is (the owner in fee) of New Windsor Business Park Assoc. (Official Title)

of the Corporation which is the Owner in fee of the premises described in the foregoing application and that he has authorized _____ to make the foregoing application for Special Use Approval as described herein.

I HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND INFORMATION, AND ALL STATEMENTS AND INFORMATION CONTAINED IN THE SUPPORTING DOCUMENTS AND DRAWINGS ATTACHED HERETO ARE TRUE.

Sworn before me this

6th day of October 1992

Katherine Ann Dewkett
Notary Public

[Signature]
(Owner's Signature)
[Signature]
(Applicant's Signature)
Owner - Partner
(Title)

KATHERINE ANN DEWKETT,
Notary Public, State of New York
Qualified in Dutchess County,
No. 4903420
Commission Expires August 24, 1993

PROJECT I.D. NUMBER

617.21

SEQR

Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR New Windsor Business Park Associates	2. PROJECT NAME Parcel 16.4
3. PROJECT LOCATION: Municipality Town of New Windsor County Orange County	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) North side of Temple Hill Road approximately 1000 ft East of Union Ave intersection.	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: Construction of 7980 sf office Building with parking area and landscaped grounds.	
7. AMOUNT OF LAND AFFECTED: Initially 1.51 ± acres Ultimately 1.51 ± acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency(s) and permit/approvals Building Permit, Site Plan approval - Town of New Windsor Highway Access Permit - NYS Dept. of Transportation	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: Jonathan Miller, N.W.B.P. Associates Date: 10/6/92	
Signature: [Signature]	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF. <input type="checkbox"/> Yes <input type="checkbox"/> No	
B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.8? If No, a negative declaration may be superseded by another involved agency. <input type="checkbox"/> Yes <input type="checkbox"/> No	
C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible) C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly: C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly: C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly: C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly: C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly: C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly: C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly: D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, explain briefly: 	

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

<input type="checkbox"/> Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:	
_____ Name of Lead Agency	
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from responsible officer)
_____ Date	

TOWN OF NEW WINDSOR PLANNING BOARD
SITE PLAN CHECKLIST

92 - 39

OCT - 9 1992

ITEM

- | | |
|--|---|
| 1. <input checked="" type="checkbox"/> Site Plan Title | 29. <input checked="" type="checkbox"/> Curbing Locations |
| 2. <input checked="" type="checkbox"/> Applicant's Name(s) | 30. <input type="checkbox"/> Curbing Through Section |
| 3. <input checked="" type="checkbox"/> Applicant's Address(es) | 31. <input type="checkbox"/> Catch Basin Locations |
| 4. <input checked="" type="checkbox"/> Site Plan Preparer's Name | 32. <input type="checkbox"/> Catch Basin Through Section |
| 5. <input checked="" type="checkbox"/> Site Plan Preparer's Address | 33. <input type="checkbox"/> Storm Drainage |
| 6. <input checked="" type="checkbox"/> Drawing Date | 34. <input checked="" type="checkbox"/> Refuse Storage |
| 7. <input checked="" type="checkbox"/> Revision Dates | 35. <input type="checkbox"/> Other Outdoor Storage |
| 8. <input checked="" type="checkbox"/> AREA MAP INSET | 36. <input type="checkbox"/> Water Supply |
| 9. <input checked="" type="checkbox"/> Site Designation | 37. <input type="checkbox"/> Sanitary Disposal Sys. |
| 10. <input checked="" type="checkbox"/> Properties Within 500 Feet of Site | 38. <input checked="" type="checkbox"/> Fire Hydrants |
| 11. <input type="checkbox"/> Property Owners (Item #10) | 39. <input checked="" type="checkbox"/> Building Locations |
| 12. <input checked="" type="checkbox"/> PLOT PLAN | 40. <input checked="" type="checkbox"/> Building Setbacks |
| 13. <input checked="" type="checkbox"/> Scale (1" = 50' or lesser) | 41. <input type="checkbox"/> Front Building Elevations |
| 14. <input checked="" type="checkbox"/> Metes and Bounds | 42. <input checked="" type="checkbox"/> Divisions of Occupancy |
| 15. <input checked="" type="checkbox"/> Zoning Designation | 43. <input type="checkbox"/> Sign Details |
| 16. <input checked="" type="checkbox"/> North Arrow | 44. <input checked="" type="checkbox"/> BULK TABLE INSET |
| 17. <input checked="" type="checkbox"/> Abutting Property Owners | 45. <input checked="" type="checkbox"/> Property Area (Nearest 100 sq. ft.) |
| 18. <input checked="" type="checkbox"/> Existing Building Locations | 46. <input checked="" type="checkbox"/> Building Coverage (sq. ft.) |
| 19. <input checked="" type="checkbox"/> Existing Paved Areas | 47. <input checked="" type="checkbox"/> Building Coverage (% of Total Area) |
| 20. <input checked="" type="checkbox"/> Existing Vegetation | 48. <input type="checkbox"/> Pavement Coverage (Sq. Ft.) |
| 21. <input checked="" type="checkbox"/> Existing Access & Egress | 49. <input type="checkbox"/> Pavement Coverage (% of Total Area) |
| | 50. <input type="checkbox"/> Open Space (Sq. Ft.) |
| | 51. <input type="checkbox"/> Open Space (% of Total Area) |
| | 52. <input checked="" type="checkbox"/> No. of Parking Spaces Proposed. |
| | 53. <input checked="" type="checkbox"/> No. of Parking Required. |

PROPOSED IMPROVEMENTS

22. ☒ Landscaping
23. ☐ Exterior Lighting
24. ☐ Screening
25. ☒ Access & Egress
26. ☒ Parking Areas
27. ☒ Loading Areas
28. ☐ Paving Details
(Items 25-27)

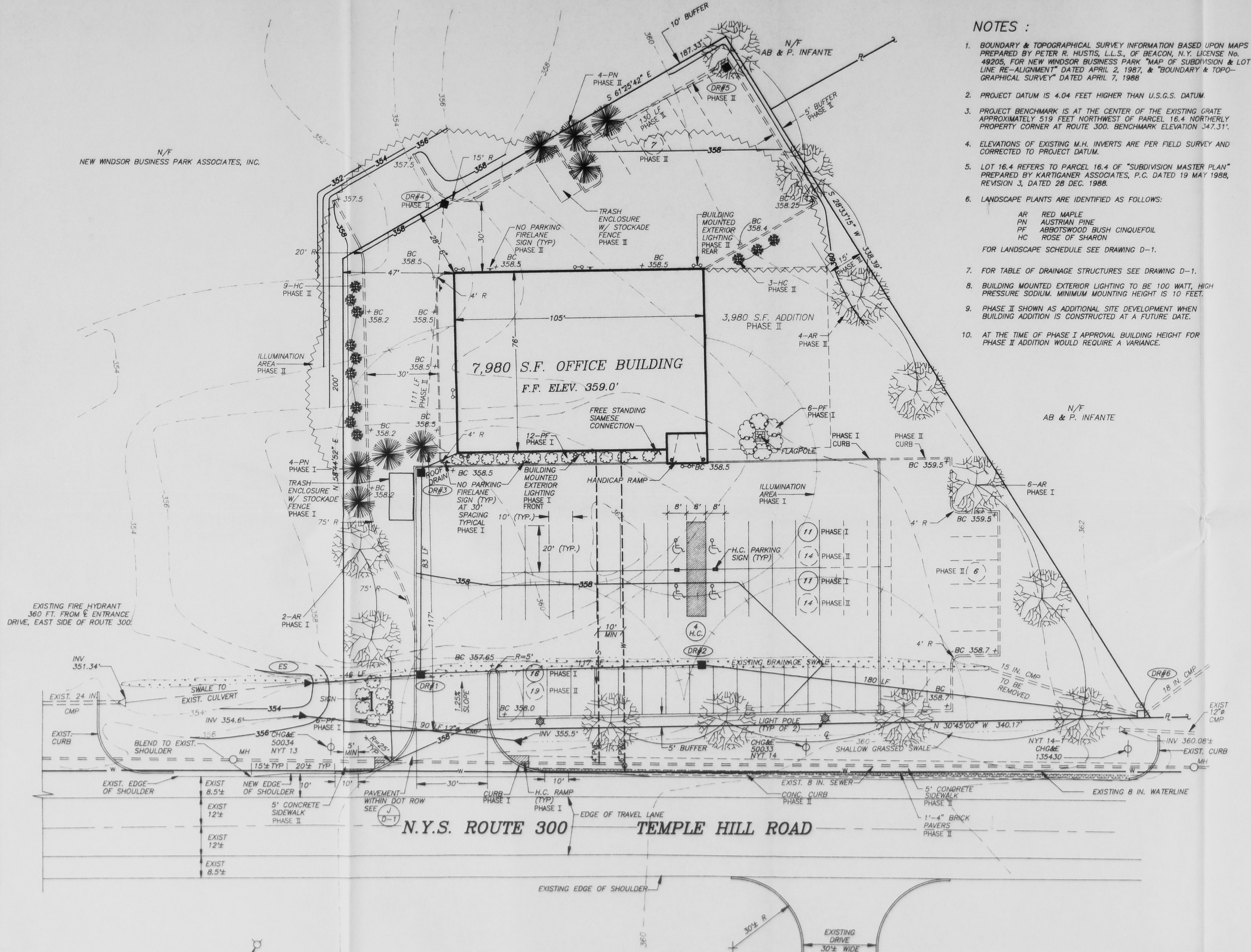
This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGEMENT:

The Site Plan has been prepared in accordance with this checklist and the Town of New Windsor Ordinances, to the best of my knowledge.

By: Katherine Ann Dewkitt
Licensed Professional

Date: October 5, 1992

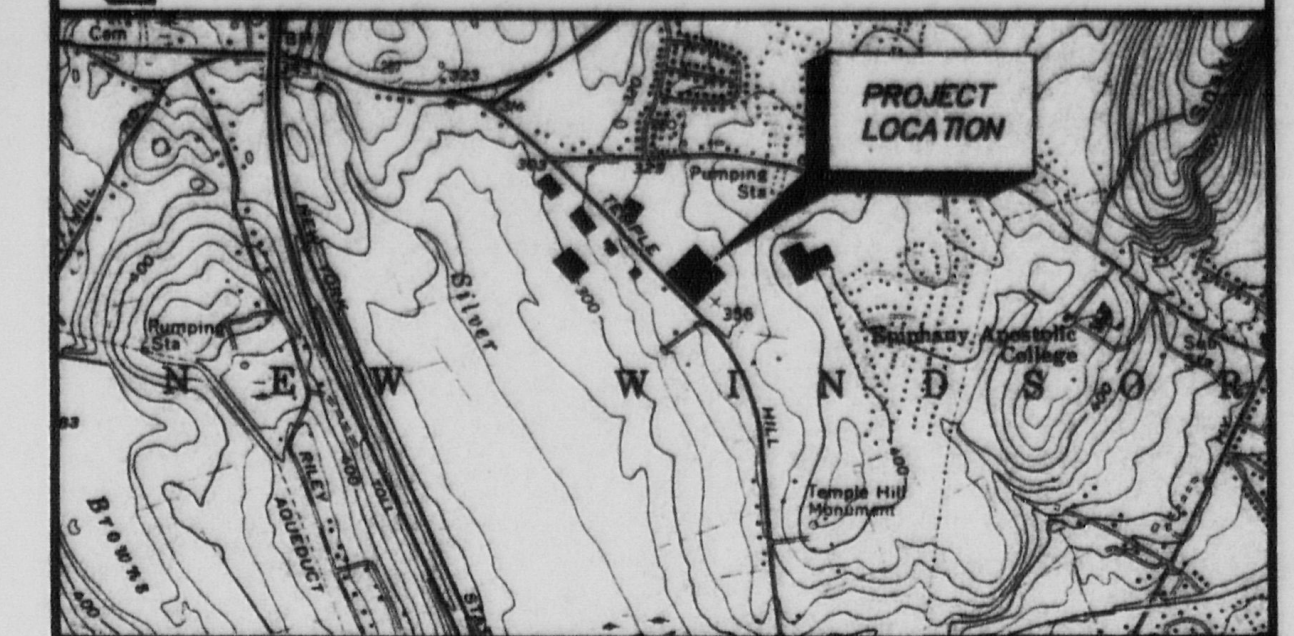


NOTES :

- BOUNDARY & TOPOGRAPHICAL SURVEY INFORMATION BASED UPON MAPS PREPARED BY PETER R. HUSTIS, L.L.S., OF BEACON, N.Y. LICENSE No. 49205, FOR NEW WINDSOR BUSINESS PARK "MAP OF SUBDIVISION & LOT LINE RE-ALIGNMENT" DATED APRIL 2, 1987, & "BOUNDARY & TOPOGRAPHICAL SURVEY" DATED APRIL 7, 1988
- PROJECT DATUM IS 4.04 FEET HIGHER THAN U.S.G.S. DATUM.
- PROJECT BENCHMARK IS AT THE CENTER OF THE EXISTING GRATE APPROXIMATELY 519 FEET WEST OF PARCEL 16.4 NORTHERLY PROPERTY CORNER AT ROUTE 300. BENCHMARK ELEVATION 347.31'.
- ELEVATIONS OF EXISTING M.H. INVERTS ARE PER FIELD SURVEY AND CORRECTED TO PROJECT DATUM.
- LOT 16.4 REFERS TO PARCEL 16.4 OF "SUBDIVISION MASTER PLAN" PREPARED BY KARTIGANER ASSOCIATES, P.C. DATED 19 MAY 1988, REVISION 3, DATED 28 DEC. 1988.
- LANDSCAPE PLANTS ARE IDENTIFIED AS FOLLOWS:
AR RED MAPLE
PN AUSTRIAN PINE
PF ABBOTSWOOD BUSH CINQUEFOIL
HC ROSE OF SHARON
FOR LANDSCAPE SCHEDULE SEE DRAWING D-1.
- FOR TABLE OF DRAINAGE STRUCTURES SEE DRAWING D-1.
- BUILDING MOUNTED EXTERIOR LIGHTING TO BE 100 WATT, HIGH PRESSURE SODIUM. MINIMUM MOUNTING HEIGHT IS 10 FEET.
- PHASE II SHOWN AS ADDITIONAL SITE DEVELOPMENT WHEN BUILDING ADDITION IS CONSTRUCTED AT A FUTURE DATE.
- AT THE TIME OF PHASE I APPROVAL BUILDING HEIGHT FOR PHASE II ADDITION WOULD REQUIRE A VARIANCE.

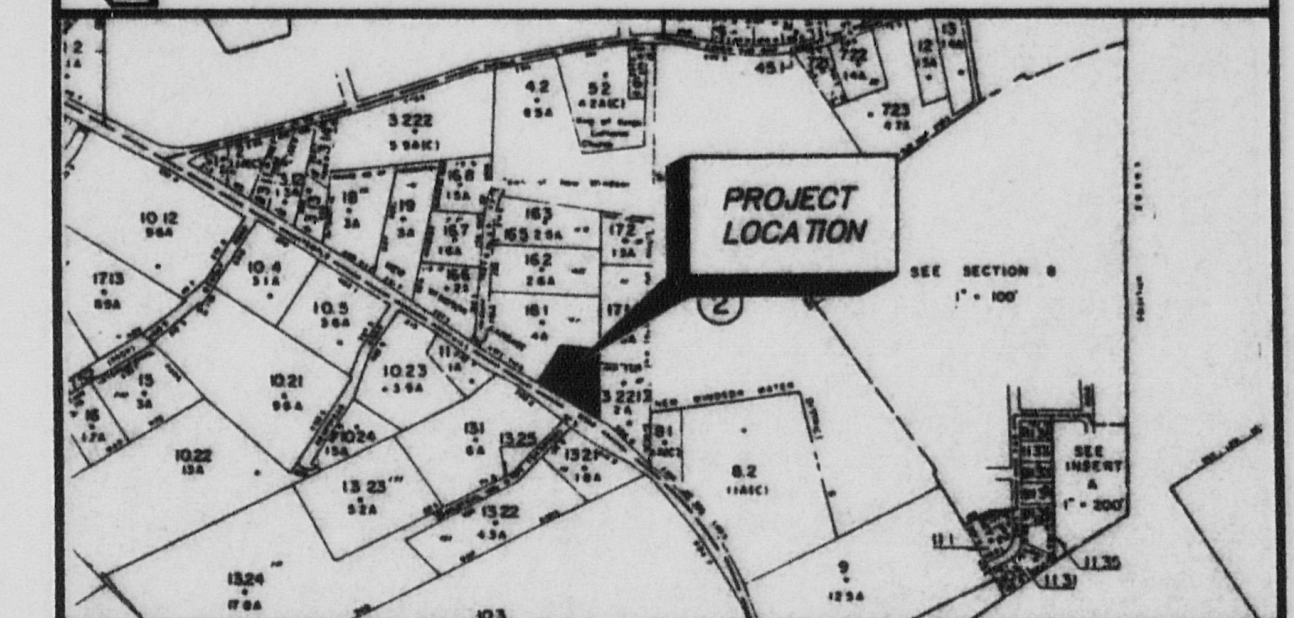
LOCATION MAP

SCALE : 1 IN. = 2000'



TAX MAP LOCATION

SCALE : 1 IN. = 400'



SITE INFORMATION

LOCATION : TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

TAX MAP DESIGNATION :

SECTION #4 - BLOCK #2
LOT 16.4 1.51 ± ACRES

ZONED : PLANNED INDUSTRIAL (P.I.)
WATER DISTRICT : No. 5
SEWER DISTRICT : No. 7
UTILITIES : CENTRAL HUDSON G & E / N. Y. TELE.
SCHOOL DISTRICT : NEWBURGH CONSOLIDATED
FIRE DISTRICT : VAILS GATE
HIGHWAY : N.Y.S. D.O.T. NEWBURGH RESIDENCY

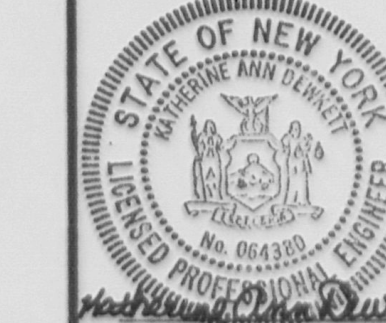
BULK REGULATIONS

ITEM	REQUIRED	PROVIDED	
PERMITTED USES - OFFICE BUILDING	USE A-14	PHASE I	PHASE II
LOT AREA	40,000 S.F. (MIN.)	65,677 S.F.	65,677 S.F.
LOT WIDTH	150' (MIN.)	250'	250'
FRONT YARD	50' (MIN.)	117'	117'
SIDE YARD/TOTAL	15'/40' (MIN.)	47'/107'	15'/62'
REAR YARD	20' (MIN.)	28.5'	28.5'
FLOOR AREA RATIO	.6 (MAX.)	0.12	0.18
HEIGHT	6' / FT = 14.25'	14.25'	14.25'*
PARKING OFFICE :	1 SPACE/200 S.F. OF FLOOR AREA = 40	42	64

* SEE NOTE 10

REV	DR	CK	DATE	DESCRIPTION
4	DEC	KAD	5/25/93	REVISED PER NYSDOT COMMENTS
3	DEC	KAD	4/29/93	REVISED PER PLANNING BRD. MTG. 4-28-93
2	DEC	KAD	3/25/93	PHASES I AND II DELINEATED
1	DEC	KAD	11/4/92	REVISED PER WORKSHOP MEETING 11-3-92

REV DR CK DATE DESCRIPTION



SITE PLAN

PREPARED FOR:
NEW WINDSOR BUSINESS PARK
TEMPLE HILL ROAD, NEW WINDSOR, N.Y.



Dewkett
Engineering, P.C.
P.O. Box 611 Rhinebeck, New York 12572

DRAWN: DEC SCALE: 1"=20' SHEET: 1 DWG. NO.: P-1
CHECKED: KAD DATE: 10/23/92 OF: 2 JOB NO.: 92014

REPRODUCTION OF THIS DOCUMENT IN WHOLE OR IN PART IS PROHIBITED EXCEPT WITH THE PERMISSION OF THE OFFICE OF ORIGIN.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

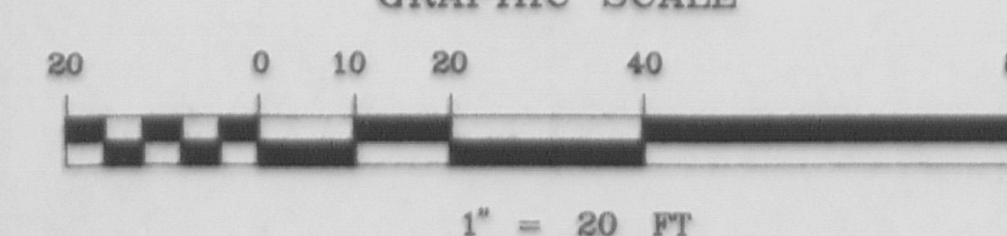
APPROXIMATE LOCATION OF EXISTING HYDRANT



NEW WINDSOR BUSINESS PARK

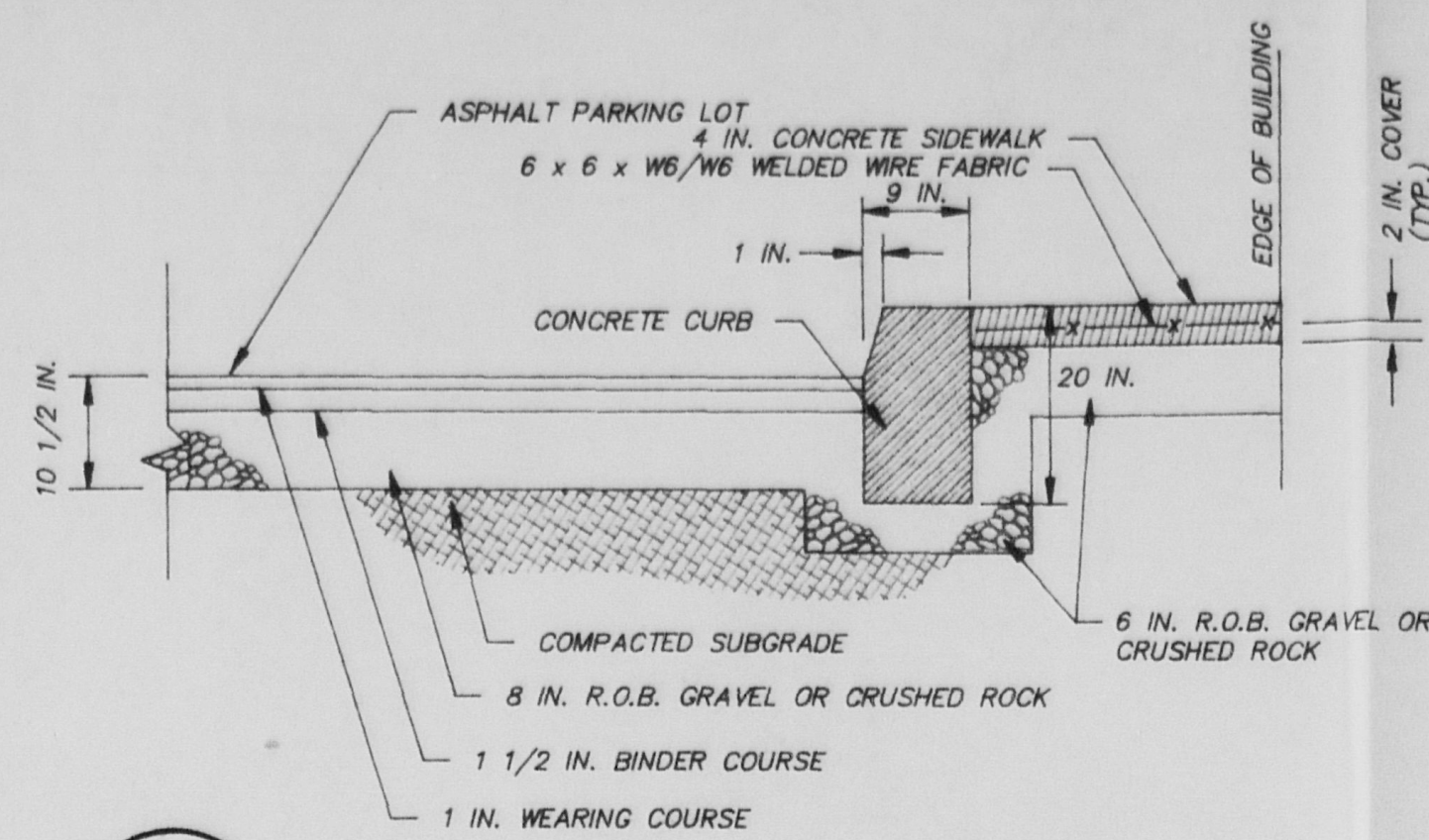
SCALE : 1 IN. = 20'

GRAPHIC SCALE

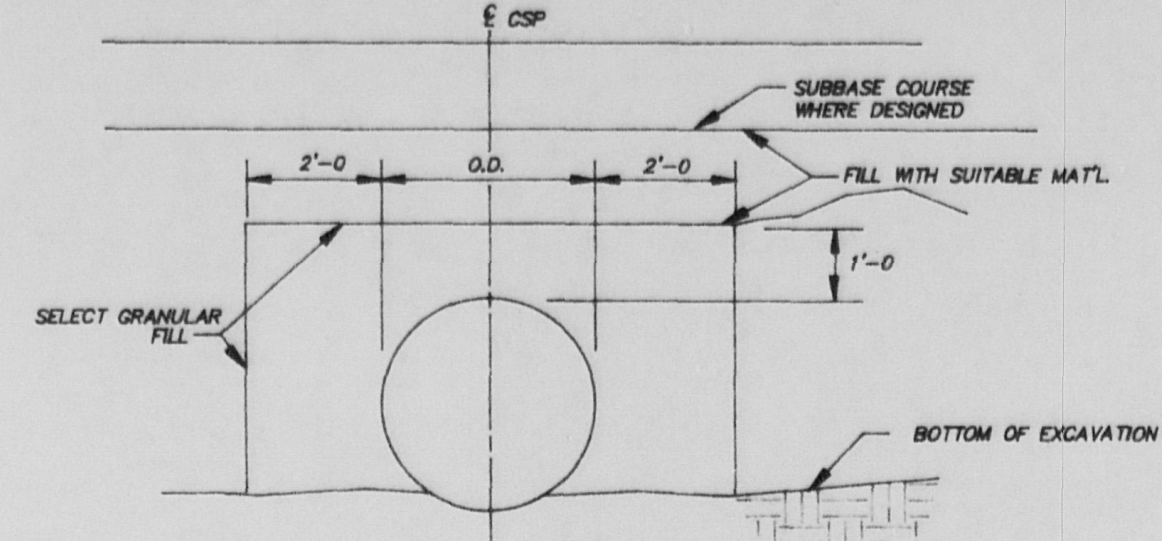


PHASE I APPROVAL ONLY

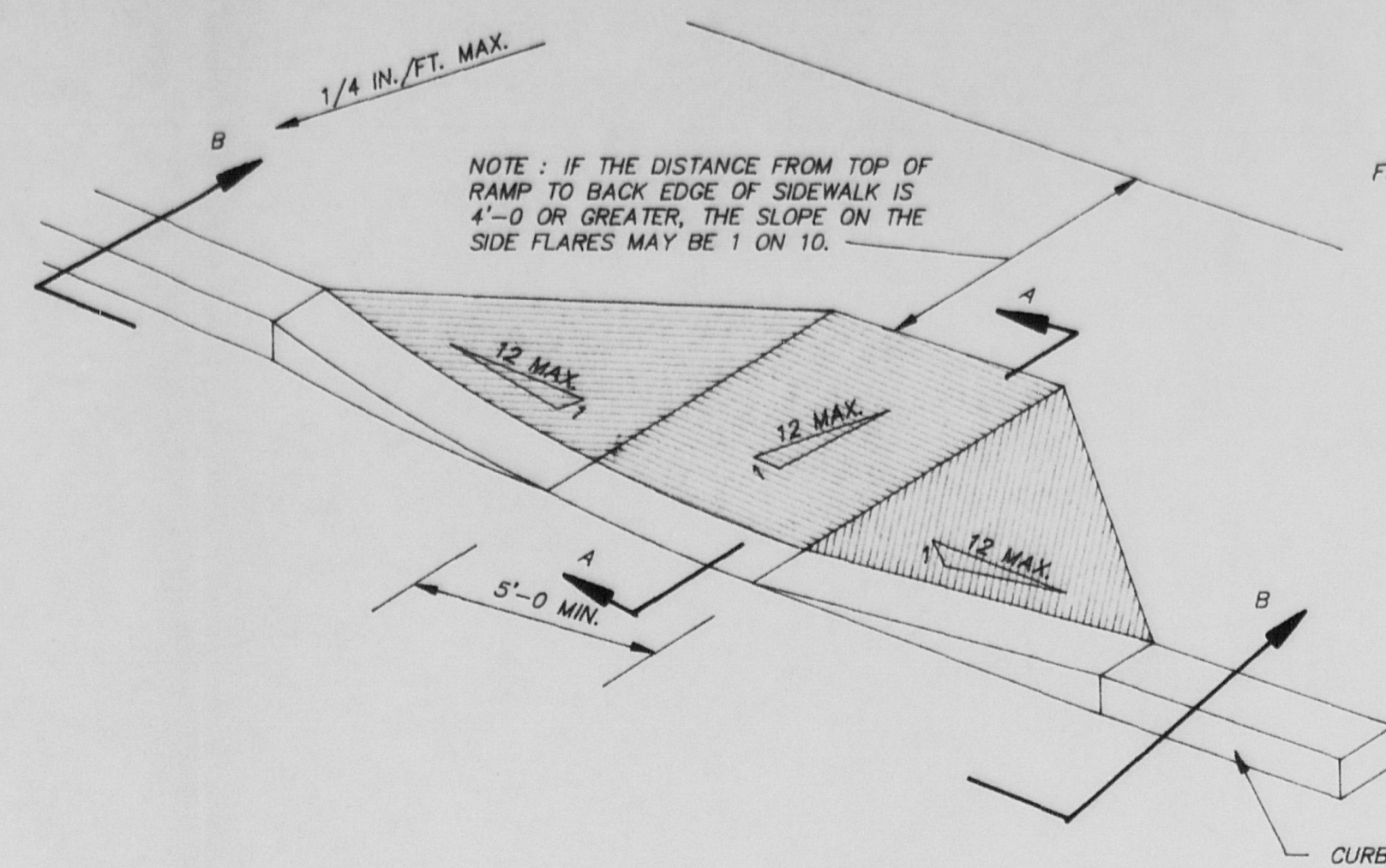
SITE PLAN APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON 11/13/93
BY GARMEN R. DUBALDI, JR.
SECRETARY



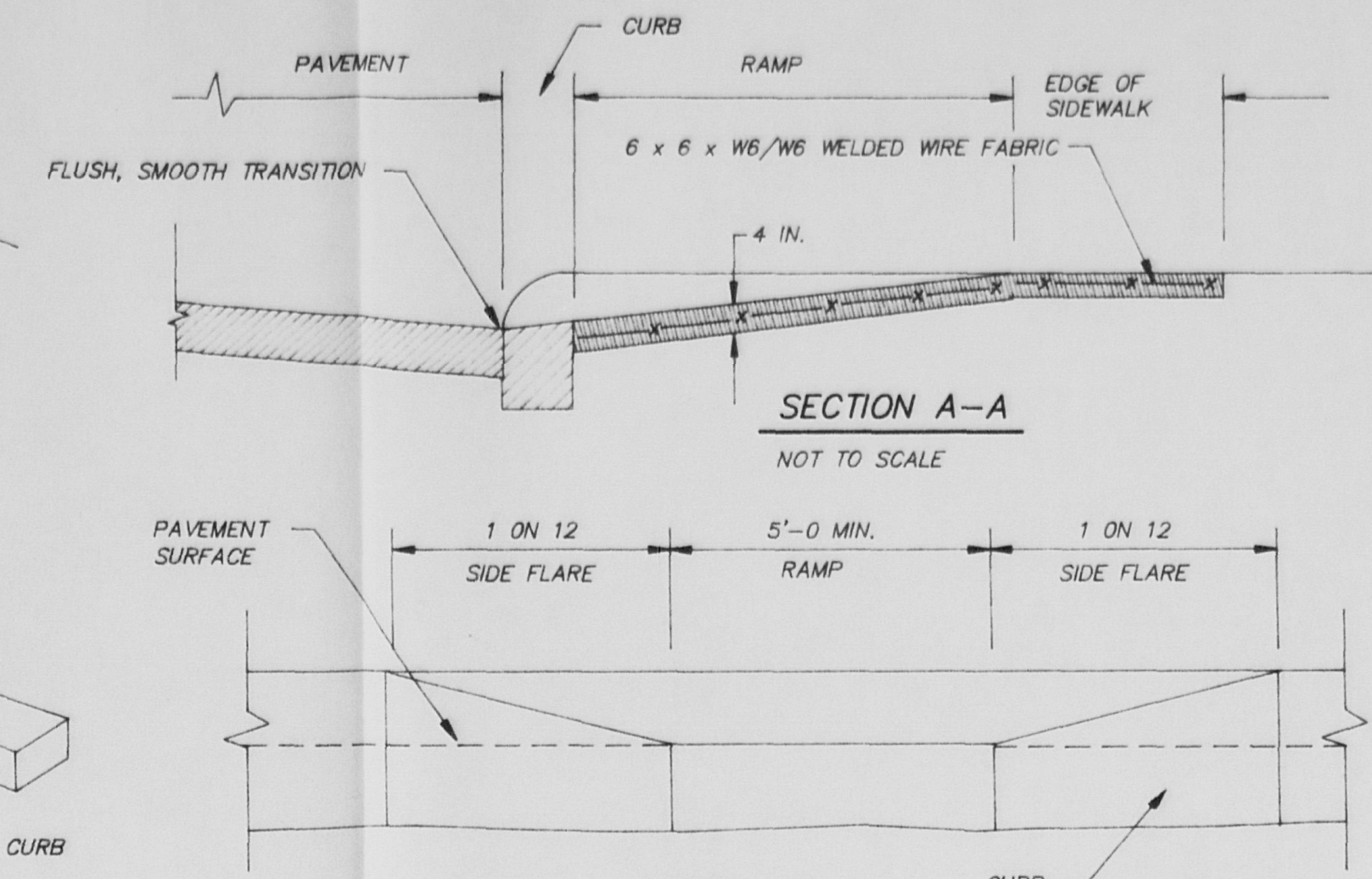
A
D-1
PAVEMENT, CURB, AND WALKWAY DETAIL
NOT TO SCALE



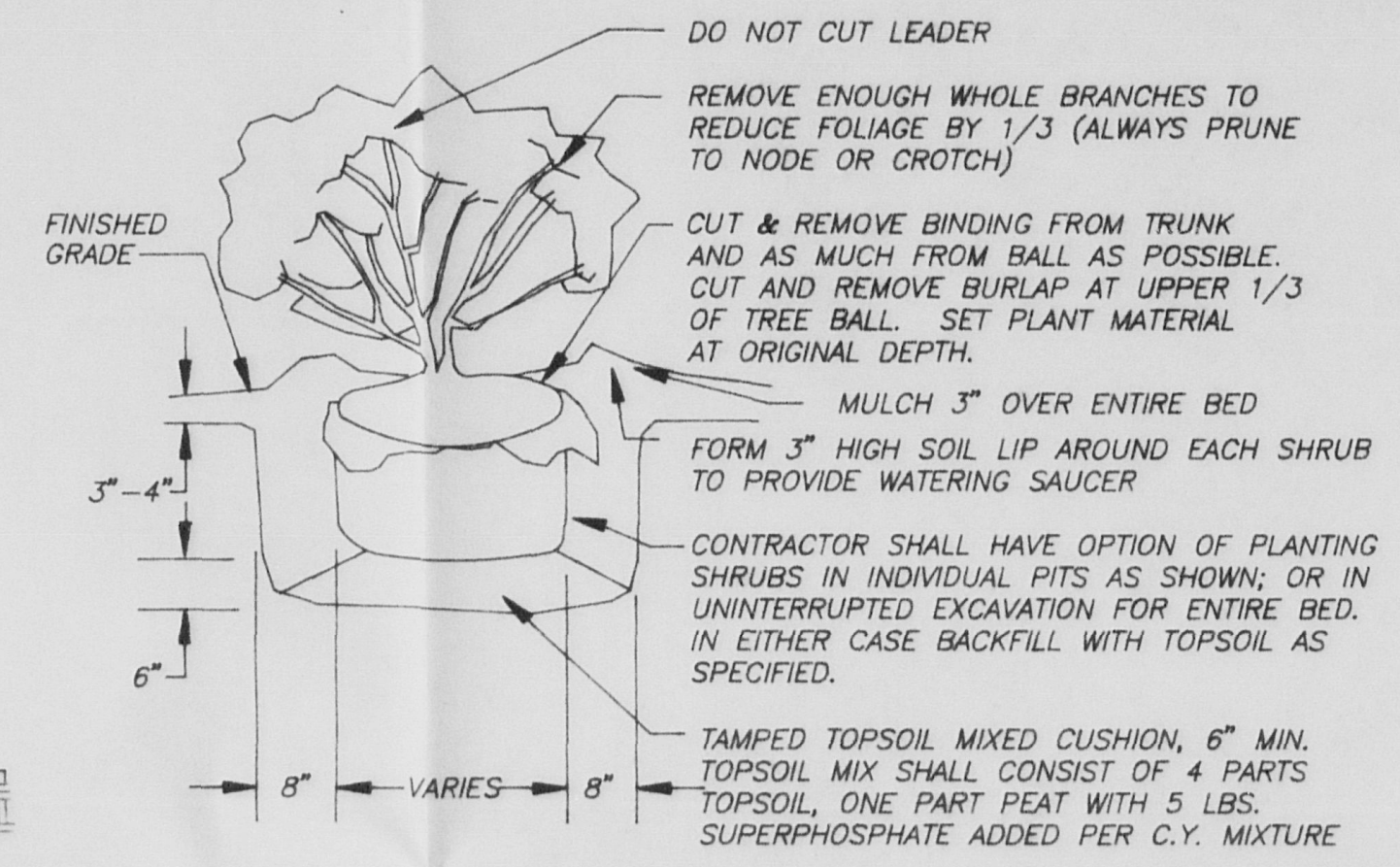
B
D-1
DRAINAGE PIPE CROSS SECTION
NOT TO SCALE



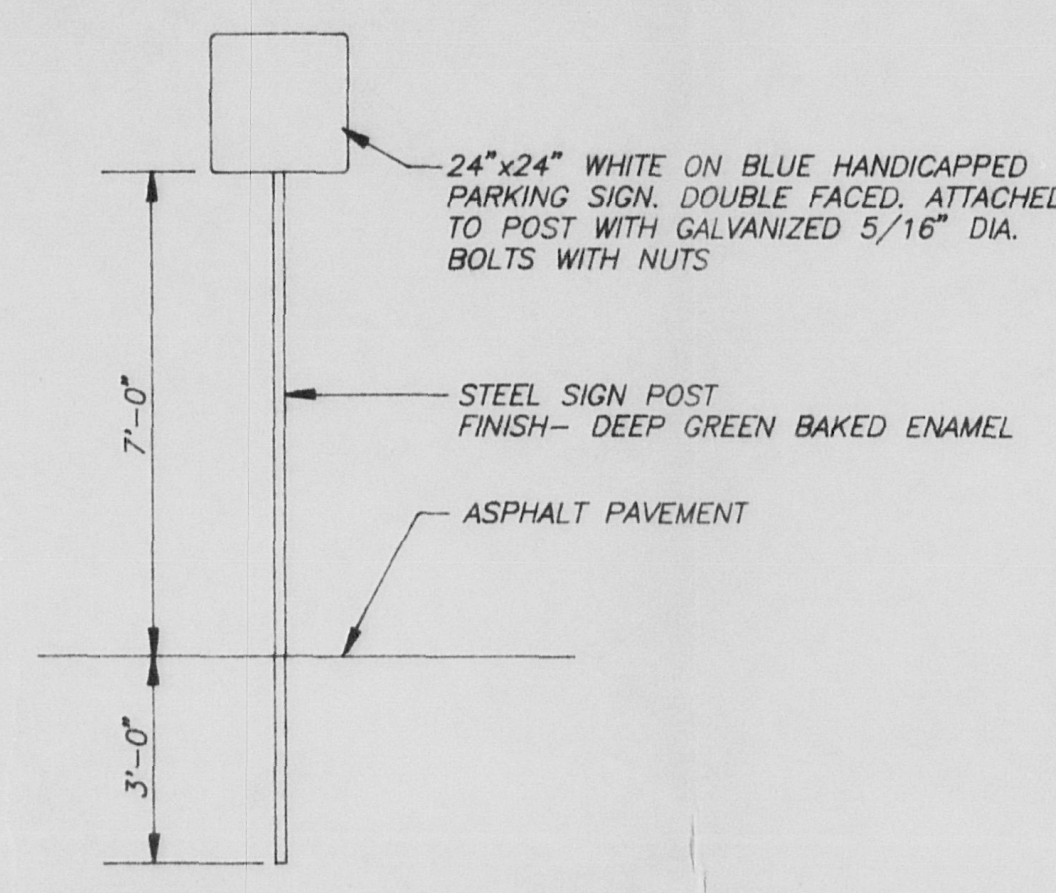
C
D-1
SIDEWALK CURB RAMP, TYPE A
NOT TO SCALE



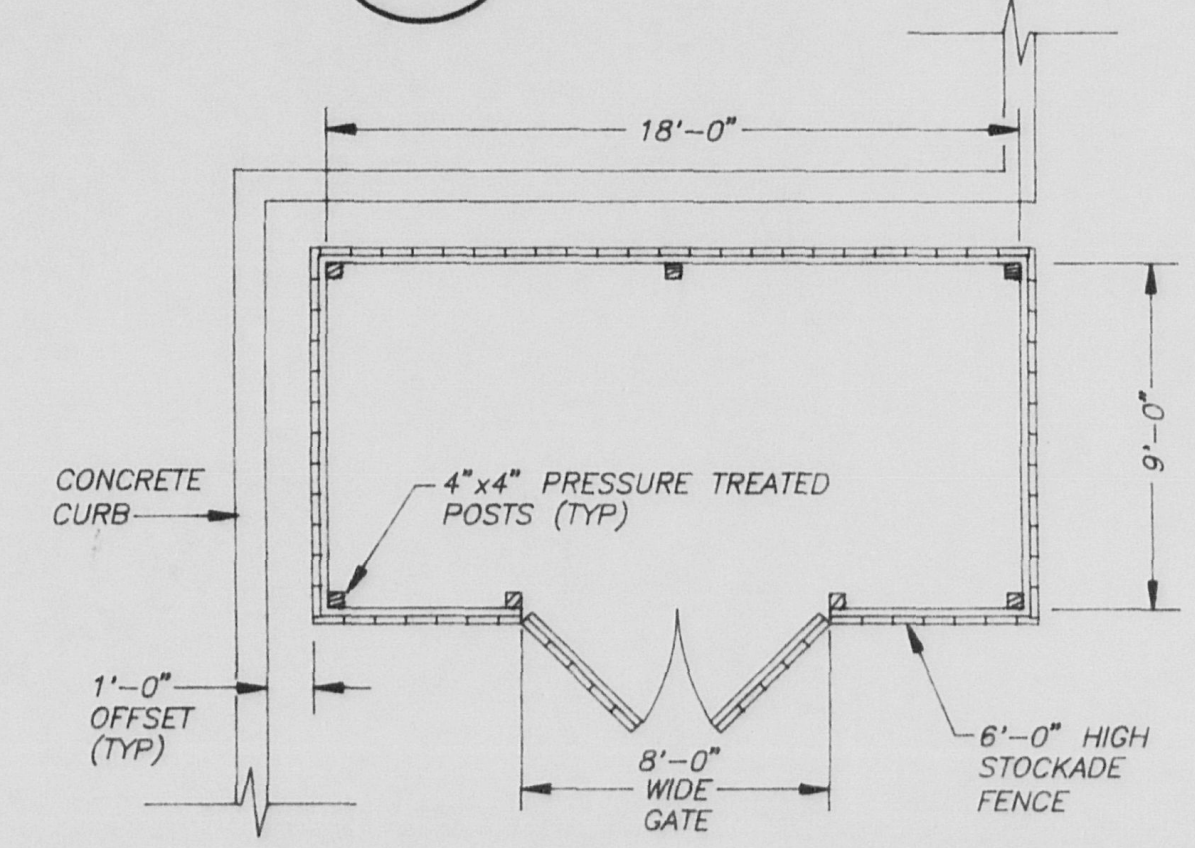
D
D-1
OUTSIDE LIGHT POLE DETAIL
NOT TO SCALE



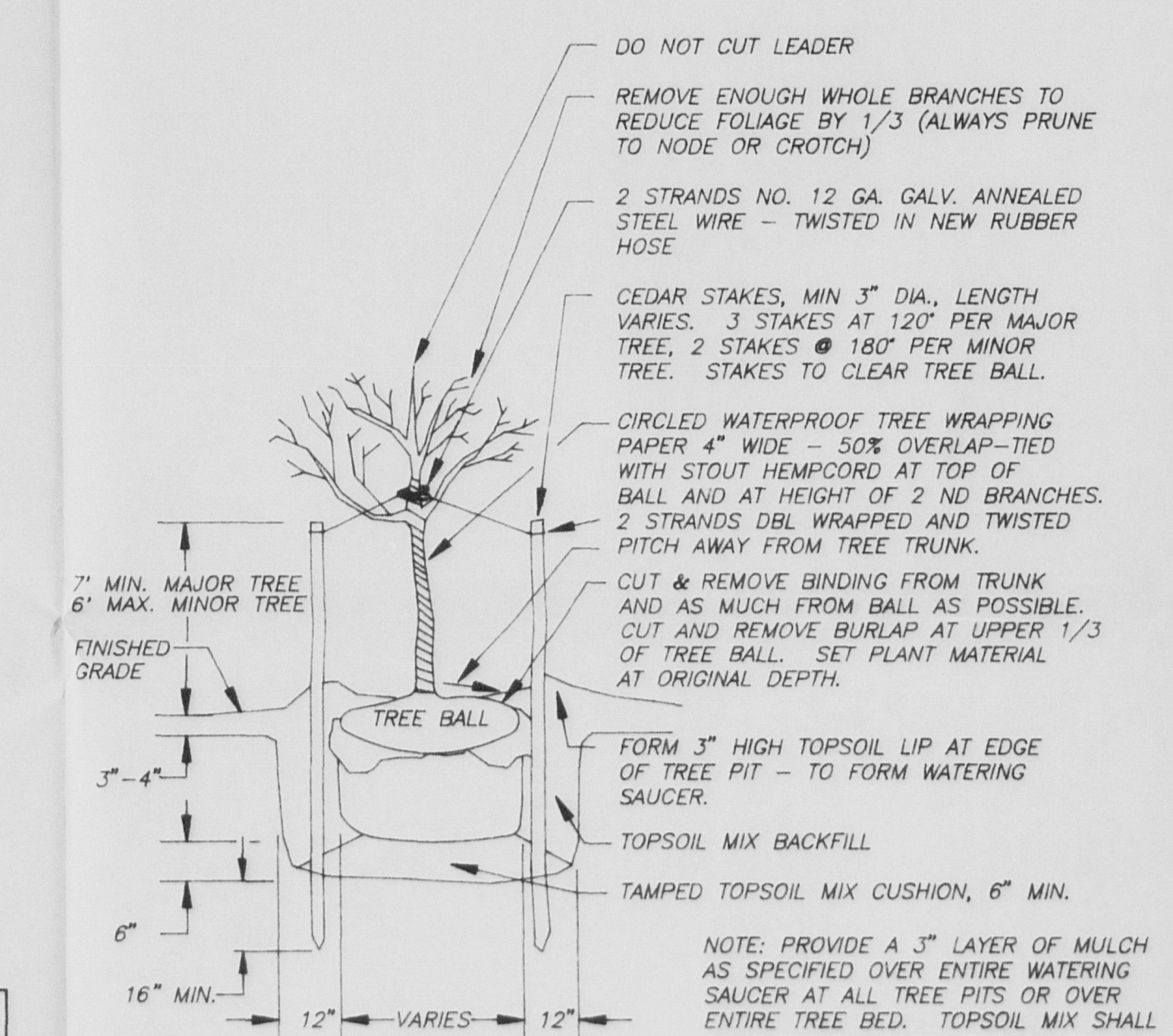
E
D-1
TYPICAL SHRUB PLANTING
NOT TO SCALE



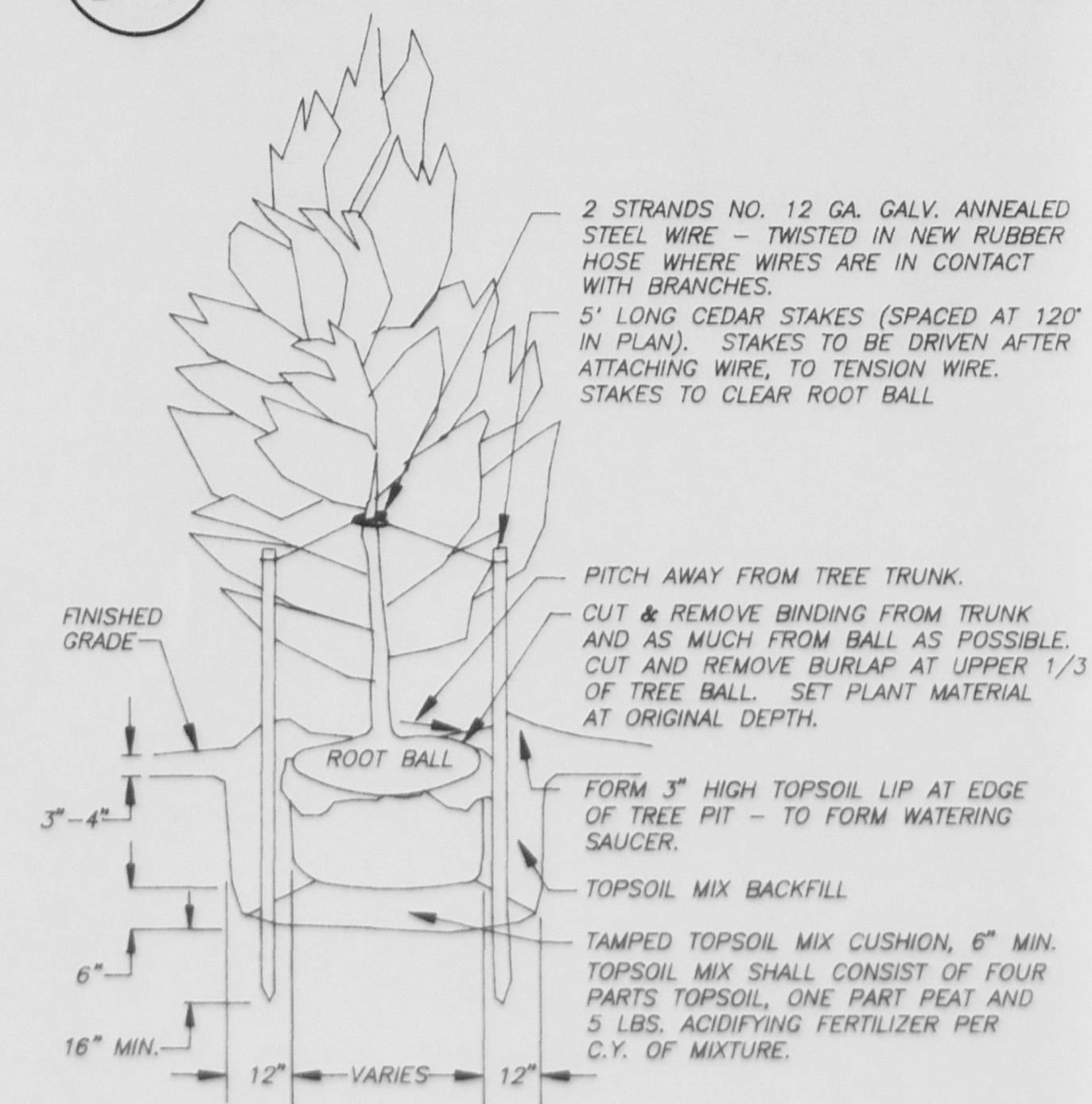
F
D-1
HANDICAPPED SIGN DETAIL
NOT TO SCALE



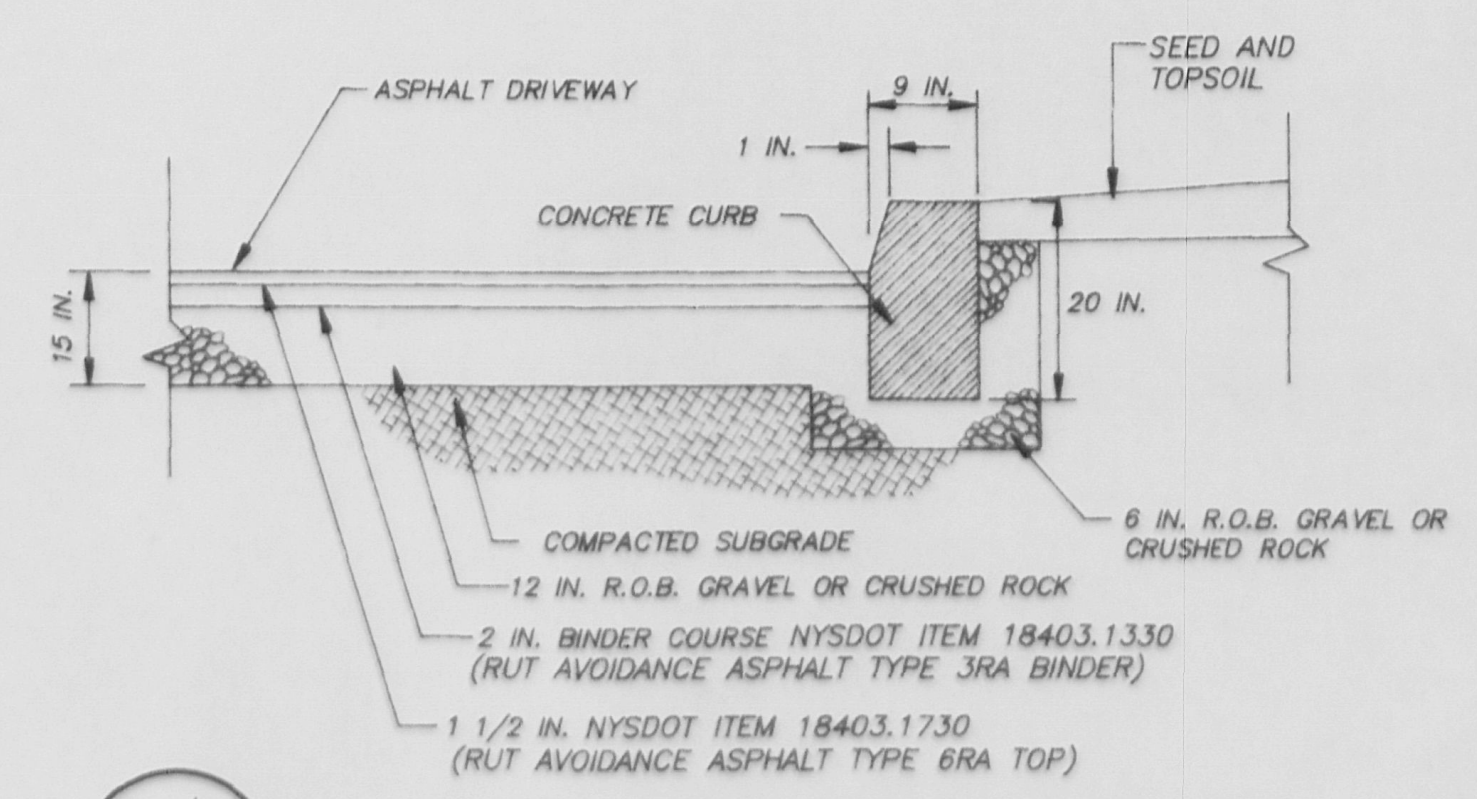
G
D-1
TRASH ENCLOSURE DETAIL
NOT TO SCALE



H
D-1
TYPICAL DECIDUOUS TREE STAKING & PLANTING
NOT TO SCALE



I
D-1
TYPICAL EVERGREEN TREE STAKING & PLANTING
NOT TO SCALE



J
D-1
DRIVEWAY PAVEMENT DETAIL
NOT TO SCALE

DRAINAGE STRUCTURE TABLE						
DRAIN NO.	1	2	3	4	5	6
TYPE	A	A	A	A	A	EXIST CB
PIPE	18" CMP	18" CMP	15" CMP	15" CMP	15" CMP	18" CMP
LENGTH	46 LF	117 LF	83 LF	111 LF	130 LF	180 LF
T.G.	357.65±	357.65±	358.3±	358.0±	357.7±	362.0±
INV.	IN 352.83'(E)	IN 354.15'	IN 353.29'	IN 353.82'	OUT 354.45'	IN 359.0'
	IN 352.95'(S)	OUT 354.15'	OUT 353.29'	OUT 353.82'		OUT 359.0±
	OUT 352.58'(N)					
	TO ES INV 352.0'					

PLANT SCHEDULE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
	PHASE I	PHASE II			
AR	8	4	ACER RUBRUM	RED MAPLE	B&B 2"-2 1/2" CAL.
PN	4	4	PINUS NIGRA	AUSTRIAN PINE	B&B 3'-4' HT
PF	24	—	POTENTILLA FRUTICOSA	ABBOTSWOOD BUSH CINQUEFOIL	#1 CAN 12"-18"
HC	—	12	HYPERICUM CALYCEINUM	ROSE OF SHARON	CONT. 3'-4' HT

SITE PLAN APPROVAL GRANTED BY TOWN OF NEW WINDSOR PLANNING BOARD ON 11/16/93 BY CARMEN R. DURAND, JR. SECRETARY

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3	DEC	KAD	5/25/93	REVISED PER NYSDOT COMMENTS
2	DEC	KAD	3/25/93	ADDED DETAIL J / REVISED DRAINAGE TABLE
1	DEC	KAD	11/4/92	REVISED PER WORKSHOP MEETING 11/3/92
REV	DR	CK	DATE	DESCRIPTION

DETAILS

PREPARED FOR:

NEW WINDSOR BUSINESS PARK

TEMPLE HILL ROAD, NEW WINDSOR, N.Y.

Dewkett Engineering, P.C.

P.O. Box 611 • Rhinebeck, New York 12572

DRAWN: DEC

SCALE: AS SHOWN SHEET: 2

DWG. NO.: 0-1

CHECKED: KAD

DATE: 10/23/92 OF: 2

JOB NO.: 92014